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1/19/2018 10:07:24 AM

BASSETT @ NORTH SAN PEDRO

199 BASSETT ST    SAN JOSE, CA

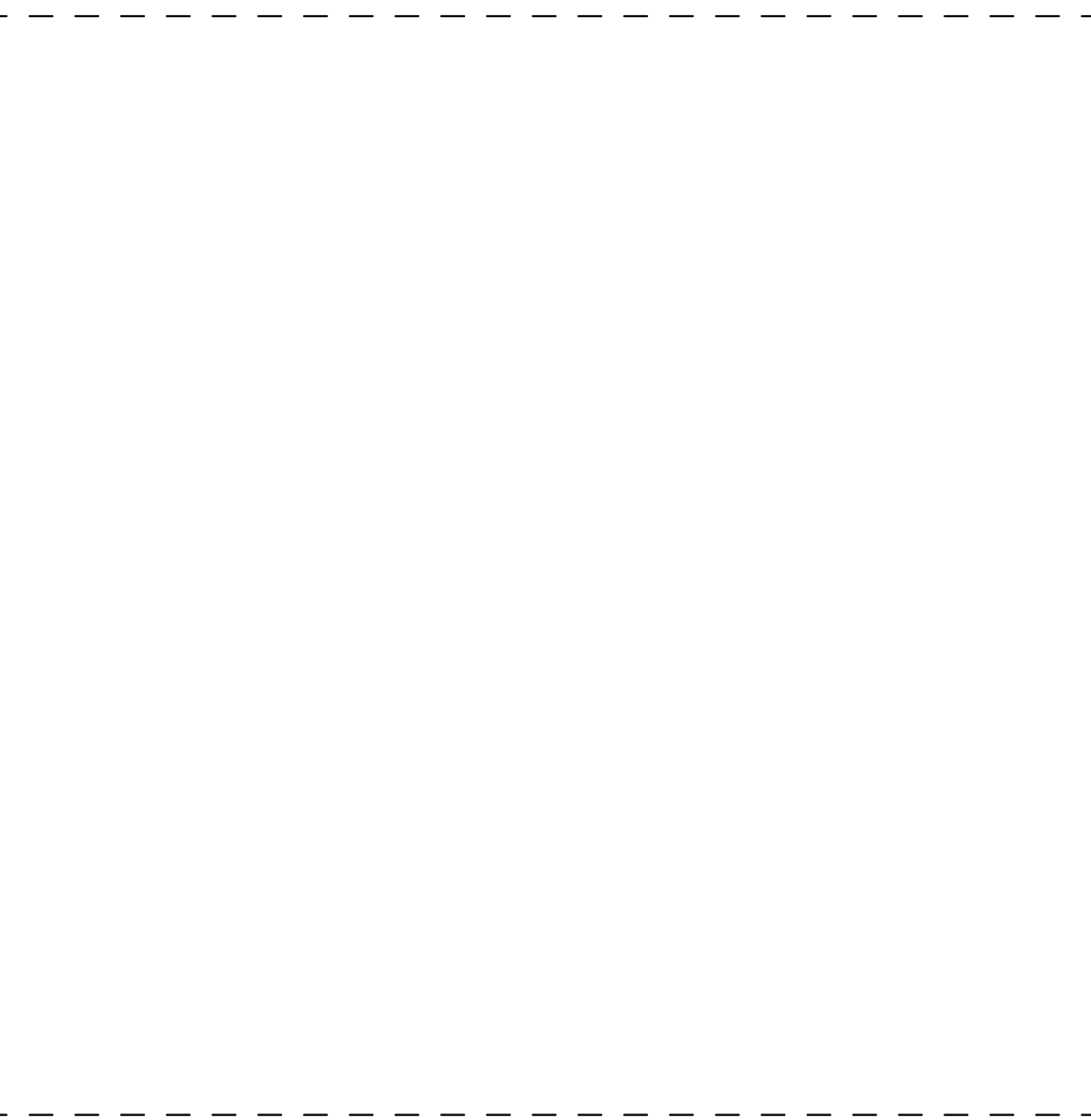
RESIDENTIAL MIXED-USE DEVELOPMENT

SOUTHEAST VIEW



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CITY OF SAN JOSE PBCE STAMP

PROJECT TEAM

OWNER / DEVELOPER

KT Urban  
21710 Stevens Creek Blvd., Ste. 200  
Cupertino, CA 95014  
P: 408-257-2100  
CONTACT:  
Mark Terenzi    mterenzi@aol.com

DEVELOPER

Starcity  
1020 Kearny St  
San Francisco, CA 94133  
P: 515-745-0045  
CONTACT:  
Mo. Sakrani    mo@starcity.com

ARCHITECT

CKK ARCHITECTURE INC.  
1645 NW Hoyt St  
Portland, OR 97209  
P: 503-244-2100  
CONTACT:  
Kevin Sauer    ksauer@ck2arch.com  
Nathan Miller    nmiller@ck2arch.com

MEPS ENGINEER

Interface Engineering  
708 SW 3rd Ave., Ste. 400  
Portland, OR 97204  
P: 503-282-2260  
CONTACT:  
Andrew Lasse    andrew@interfaceng.com

GEOTECHNICAL

LANGAN  
1 Almaden Blvd  
San Jose, CA 95113  
P: 408-263-2600  
CONTACT:  
John Gouchon    jgouchon@langan.com

SMOKE CONTROL DESIGN

FIRE RISK ALLIANCE  
2551 San Ramon Valley Blvd Suite 207  
San Ramon, CA 94583  
P: 925-362-5989 x 179  
CONTACT:  
Xin Liu, PE    xliu@fireriskalliance.com

CODE CONSULTANT

FIRE RISK ALLIANCE  
2551 San Ramon Valley Blvd Suite 207  
San Ramon, CA 94583  
P: 925-362-5989 x 179  
CONTACT:  
Xin Liu, PE    xliu@fireriskalliance.com

GENERAL CONTRACTOR

Weboor Builders  
207 King Street, Suite 300  
San Francisco, CA 94107  
P: 415-978-1000  
CONTACT:  
Tolga Kiser    tolga@weboor.com

CIVIL ENGINEER

Charles W. Davidson Co.  
255 West Julian St., Ste. 200  
San Jose, CA 95110  
P: 408-295-9162  
CONTACT:  
Peter Smith    psmith@cwdcso.com

STRUCTURAL ENGINEER

Magnusson Klemencic Associates  
1301 Fifth Ave., Ste. 3200  
Seattle, WA 98101-2099  
P: 206-292-1200  
CONTACT:  
Donald W Davies    ddavies@mkma.com  
Ian S. McFarlane    imcfarlane@mkma.com

ACOUSTICAL

Listen Acoustics  
404 NW 18th Ave., Ste. 200  
Portland, OR 97209  
P: 503-241-5255  
CONTACT:  
Tobin Cooley    tobin@listenacoustics.com

LANDSCAPE

PLACE Studio LLC  
735 NW 18th Ave.  
Portland, OR 97209  
P: 503-334-2080  
CONTACT:  
Miguel Camacho-Serna    miguel.camacho-serna@place.studio

ENVELOPE CONSULTANT

RDH Building Sciences Inc.  
360 22nd St.  
Oakland, CA 94612  
P: 510-788-8915  
CONTACT:  
Joe Pinnon    jpinnon@rdh.com

FACADE ACCESS

Lerch Bates  
8089 S. Lincoln Street, Suite 105  
Liberty, CO 80122  
P: 303-723-7942  
CONTACT:  
John Fatseas    john.fatseas@lerchbates.com

PROJECT DESCRIPTION

THE PROPOSED BASSETT @ NORTH SAN PEDRO SITE DEVELOPMENT IS A MULTI-FAMILY RESIDENTIAL PROJECT CONTAINING 800 BEDROOMS IN 17 FLOORS OF RESIDENTIAL UNITS. THE BUILDING WILL BE AN 18-STORY HIGH RISE TOWER CONSTRUCTED WITH A POST-TENSIONED CONCRETE STRUCTURE WITH THE EXTERIOR CLAD IN A HIGH QUALITY GLAZING SYSTEM WITH VISION AND SPANDREL WINDOWS, METAL PANELS AND DALCOWY DOORS INTEGRAL TO THE SYSTEM. THE PARKING GARAGE EXTENDS 3 LEVELS BELOW GRADE WITH 186 PARKING SPACES. AMENITIES INCLUDE GROUND FLOOR RETAIL SPACE WITH COMPACT URBAN MARKET, ROOFTOP OUTDOOR TERRACES, FITNESS ROOM, GROUND FLOOR LOUNGE SPACES.

THE PROPOSED RESIDENTIAL BEDROOMS ARE COLIVING RENTAL UNITS. RETAIL COMMERCIAL CONDOMINIUMS ARE PROPOSED.

THE BUILDING WILL BE LEED CERTIFIED AS REQUIRED BY CITY COUNCIL POLICY. THE PROJECT WILL ACHIEVE LEED NC V4 CERTIFICATION THROUGH THE USGBC.

OWNER:

199 BASSETT, LLC

ADDRESS:

199 BASSETT ST  
SAN JOSE, CA 95110

PERMIT #:

SP17-023, SPA18-\_\_\_

DEFERRED SUBMITTALS

DEFERRED SUBMITTAL SCHEDULE					
DEFERRED SUBMITTAL ITEMS	SUBMITTAL DATE FOR ENGINEER / ARCHITECT OF RECORD TO REVIEW & APPROVE	SUBMITTAL DATE FOR BUILDING DIVISION TO REVIEW & APPROVE	DATE FOR FABRICATION	DATE FOR INSTALLATION AT JOB SITE	
033800 POST-TENSIONED CONCRETE					DEFERRED SUBMITTAL CRITERIA:  THE BUILDING DIVISION SHALL BE NOTIFIED IN WRITING OF ANY DEFERRED ITEMS NOT MEETING THE SCHEDULED DATES AND NEW DATES MUST BE SUBMITTED FOR REVIEW AND APPROVAL.
054000 COLD-FORMED METAL FRAMING					
055000 METAL LADDERS					
055100 METAL STAIRS AND RAILINGS					
057000 DECORATIVE METAL					
084100 ALUMINUM STOREFRONTS					PLANS AND CALCULATIONS SHALL BE APPROVED BY THE ENGINEER/ARCHITECT OF RECORD PRIOR TO SUBMITTING TO THE BUILDING DIVISION.
084420 ALUMINUM UNITIZED WINDOW WALL DIV. 05 FINISH FLOOR MATERIAL SELECTIONS					
092210 SUSPENSION SYSTEMS FOR INTERIOR GYP CLG					
101400 SIGNAGE (includes FIRE SAFETY AND EVACUATION PLANS)					
105115 METAL STORAGE LOCKERS					
112400 WINDOW WASHING EQUIPMENT					BUILDING DIVISION APPROVED DRAWINGS OF THE DEFERRED SUBMITTAL ITEMS MUST BE PRESENT AT JOB SITE DURING THE INSPECTION OF THE DEFERRED ITEMS.
142100 ELECTRIC TRACTION ELEVATORS					
211000 WATER-BASED FIRE SUSP SYS (PER MPA 13 W/ SAN JOSE AMENDMENTS)					
211200 FIRE SUPPRESSION STANDPIPES					
220548 VIBRATION AND SEISMIC CONTROLS FOR PLUMBING PIPING AND EQUIPMENT					
221100 UNDERGROUND FIRE SERVICE LINES					CONTRACTOR SIGNATURE _____  OWNER SIGNATURE _____
230548 VIBRATION AND SEISMIC CONTROLS FOR HVAC EQUIPMENT					
260529 HANGERS AND SUPPORTS FOR ELECTRICAL SYSTEMS AND EQUIPMENT					
263213 ENGINE GENERATOR (ATTACHMENTS)					
270000 2-WAY ELEV COMMUNICATION SYSTEM					
275116 PUBLIC ADDRESS & NOTIFICATION SYS					
285100 FIRE DETECTION AND ALARM					
321400 UNIT PAVING					

SPECIAL INSPECTIONS

THE FOLLOWING ITEMS REQUIRE SPECIAL INSPECTION AND TESTING PER CBC SECTION 1704 AND 1705. THIS WORK SHALL BE PERFORMED BY A SPECIAL INSPECTOR CERTIFIED BY THE CITY OF SAN JOSE TO PERFORM THE TYPES OF INSPECTIONS AND TESTS SPECIFIED. THE FREQUENCY OF INSPECTIONS AND TESTING SHALL BE AS OUTLINED IN THE CBC TABLE ITEMS LISTED BELOW. DEFICIENCIES SHALL BE REPORTED DAILY TO THE CONTRACTOR. SUMMARY REPORTS SHALL BE DISTRIBUTED WEEKLY TO THE OWNER, ARCHITECT, CONTRACTOR, BUILDING OFFICIAL, AND STRUCTURAL ENGINEER. SEE THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SPECIAL INSPECTION AND TESTING. SEE SHEET 5003 FOR ADDITIONAL SPECIAL INSPECTIONS REQUIREMENTS.

**SOILS**  
PER SECTION 1705.6, TABLE 1705.6

**SEISMIC RESISTANCE FOR COLD-FORMED STEEL LIGHT-FRAME CONSTRUCTION**  
PER SECTION 1705.11.2

**SPRAYED FIRE-RESISTANT MATERIALS**  
PER SECTION 1705.14

**SMOKE CONTROL**  
PER SECTION 1705.18

PERMITS / REVIEWS

REVIEWING AGENCY	REVIEW STATUS
CITY OF SAN JOSE, CA	
COMPREHENSIVE PRELIMINARY REVIEW	
FILE # PRE17-033	SUBMITTED 2/15/2017
SPECIAL USE PERMIT	
FILE # SP17-023	SUBMITTED 5/17/2017
DIRECTOR'S ACTION	SUBMITTED 7/27/2017
ADDENDUM	11/17/2017
DEPARTMENT OF PUBLIC WORKS	SUBMITTED 11/30/2018
PROJECT #	3-15576
PERMIT #	
GRADING & DRAINAGE PERMIT	
PW PROJECT #	
BUILDING DEPARTMENT	
PC#	
PERMIT #	
FEDERAL AVIATION ADMINISTRATION (FAA)	
DETERMINATION OF NO HAZARD TO AIR NAVIGATION	

VICINITY MAP



PROJECT NO.: 16213

DRAWN: Author

DATE: 11-30-2018

REVISION: DESCRIPTION:

SPECIAL USE PERMIT AMENDMENT

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FOR PLAN REVIEW ONLY

SHEET TITLE:

COVER SHEET

SHEET NO.:

G000





VIEW FROM NE - COLEMAN AVE



VIEW FROM SE - SAN PEDRO AND JULIAN



VIEW FROM E BASSETT



VIEW FROM W - BASSETT AND TERRAINE



VIEW FROM E - BASSETT AND SAN PEDRO



VIEW FROM SW - ENTRY ON BASSETT

CITY OF SAN JOSE PAGE STAMP

**BASSETT @  
NORTH SAN  
PEDRO**

OWNER:  
**199 BASSETT, LLC**

ADDRESS:  
**199 BASSETT ST  
SAN JOSE, CA 95110**

PERMIT #:  
**SP17-023, SPA18-\_\_**

PROJECT NO.: 16213  
DRAWN: Author  
DATE: 11-30-2018  
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SHEET TITLE:  
**PROJECT IMAGES**

SHEET NO.:

**G002**

**SPECIAL USE PERMIT AMENDMENT**

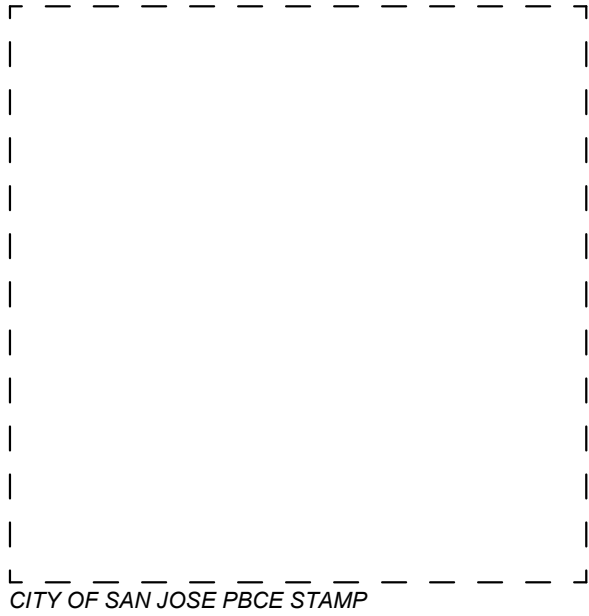




VIEW FROM SE - SAN PEDRO AND JULIAN



VIEW FROM E - BASSETT



CITY OF SAN JOSE PERM. STAMP

**BASSETT @  
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ADDRESS:  
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SAN JOSE, CA 95110**

PERMIT #:  
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PROJECT NO.:	16213
DRAWN:	Author
DATE:	11-30-2018
REVISION:	SPECIAL USE PERMIT AMENDMENT

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FOR PLAN REVIEW ONLY

SHEET TITLE:  
**PROJECT IMAGES**

SHEET NO.:

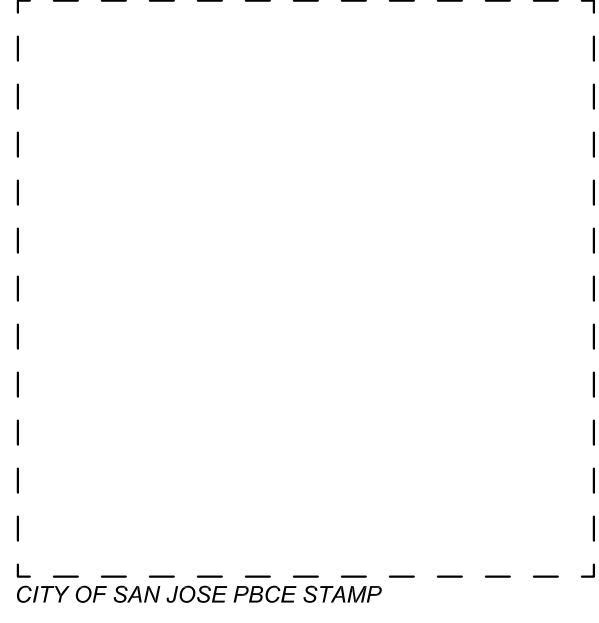
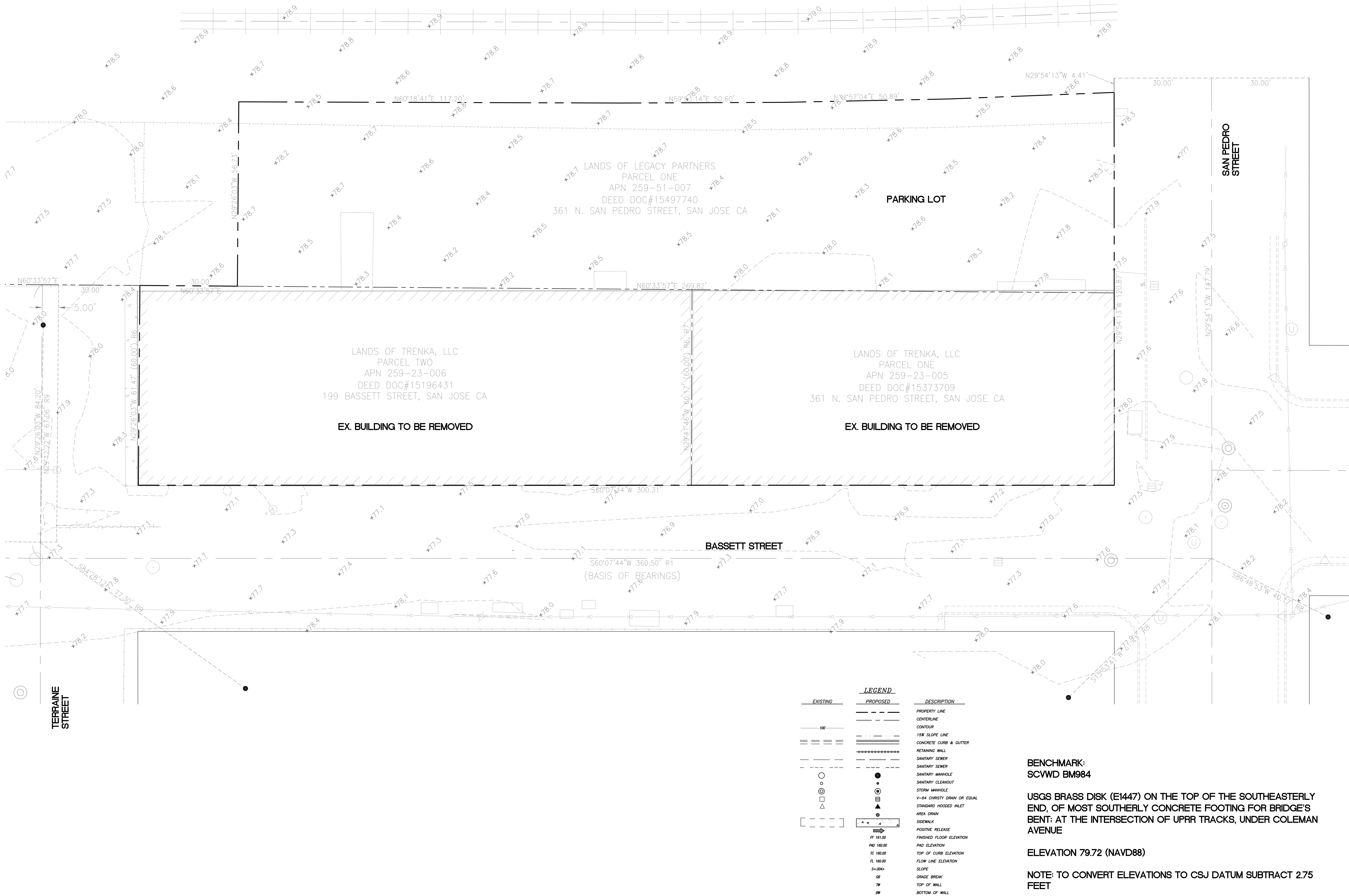
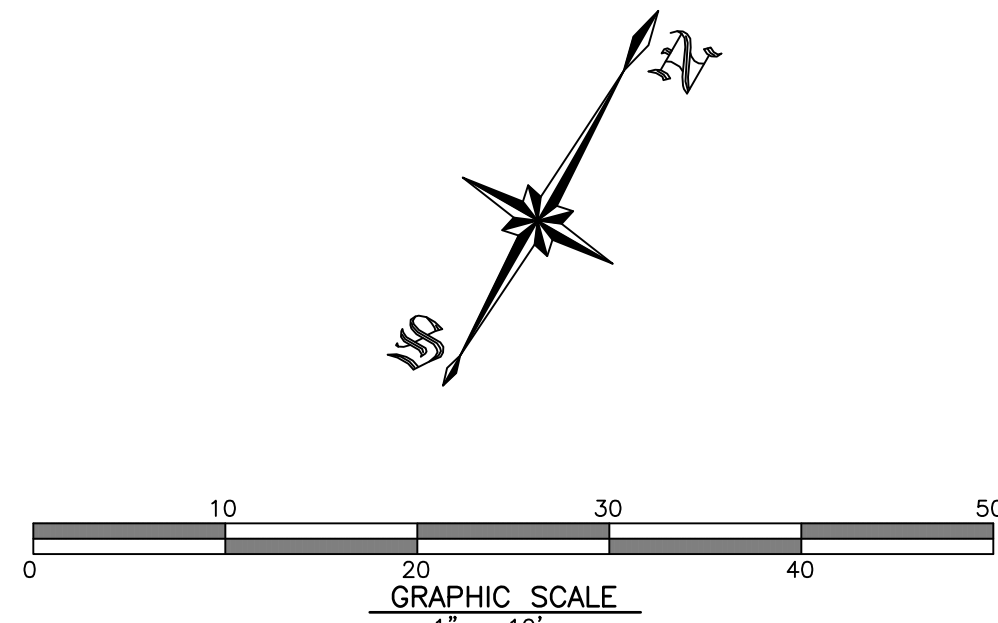
**G003**

SPECIAL USE PERMIT AMENDMENT









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**199 BASSETT, LLC**

ADDRESS:  
**199 BASSETT ST  
SAN JOSE, CA 95110**

PERMIT #:  
**SP17-023, SPA18-\_\_**

PROJECT NO.: 1921  
DRAWN: PBS  
DATE: 11-30-2018  
REVISION: SPECIAL USE PERMIT AMENDMENT

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FOR PLAN REVIEW ONLY

SHEET TITLE:  
**BOUNDARY AND  
TOPOGRAPHY**  
SHEET NO.:  
**C301**

SPECIAL USE PERMIT AMENDMENT

BENCHMARK:  
SCVWD BM984

USGS BRASS DISK (E1447) ON THE TOP OF THE SOUTHEASTERLY END, OF MOST SOUTHERLY CONCRETE FOOTING FOR BRIDGE'S BENT: AT THE INTERSECTION OF UPRR TRACKS, UNDER COLEMAN AVENUE

ELEVATION 79.72 (NAVD88)

NOTE: TO CONVERT ELEVATIONS TO CSJ DATUM SUBTRACT 2.75 FEET



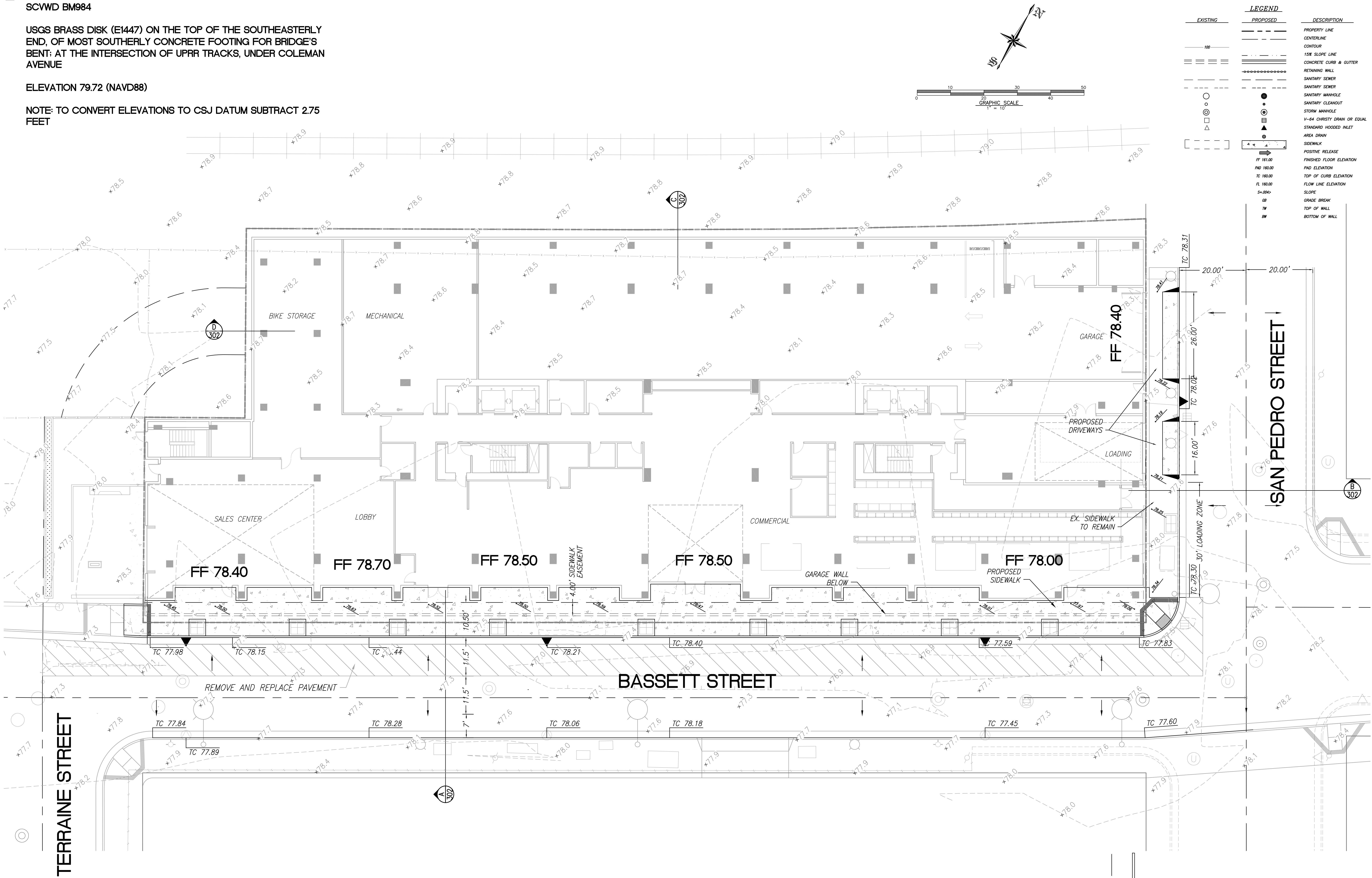
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BENCHMARK:  
SCVWD BM984

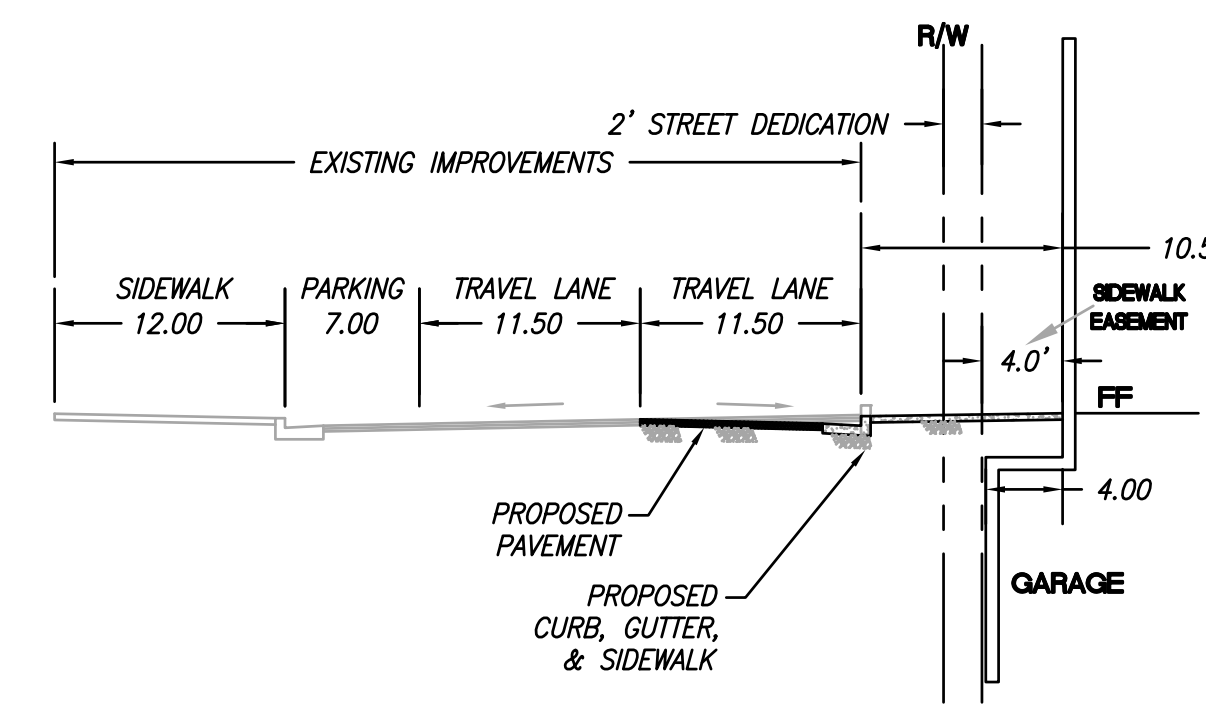
USGS BRASS DISK (E1447) ON THE TOP OF THE SOUTHEASTERLY  
END, OF MOST SOUTHERLY CONCRETE FOOTING FOR BRIDGE'S  
BENT: AT THE INTERSECTION OF UPRR TRACKS, UNDER COLEMAN  
AVENUE

ELEVATION 79.72 (NAVD88)

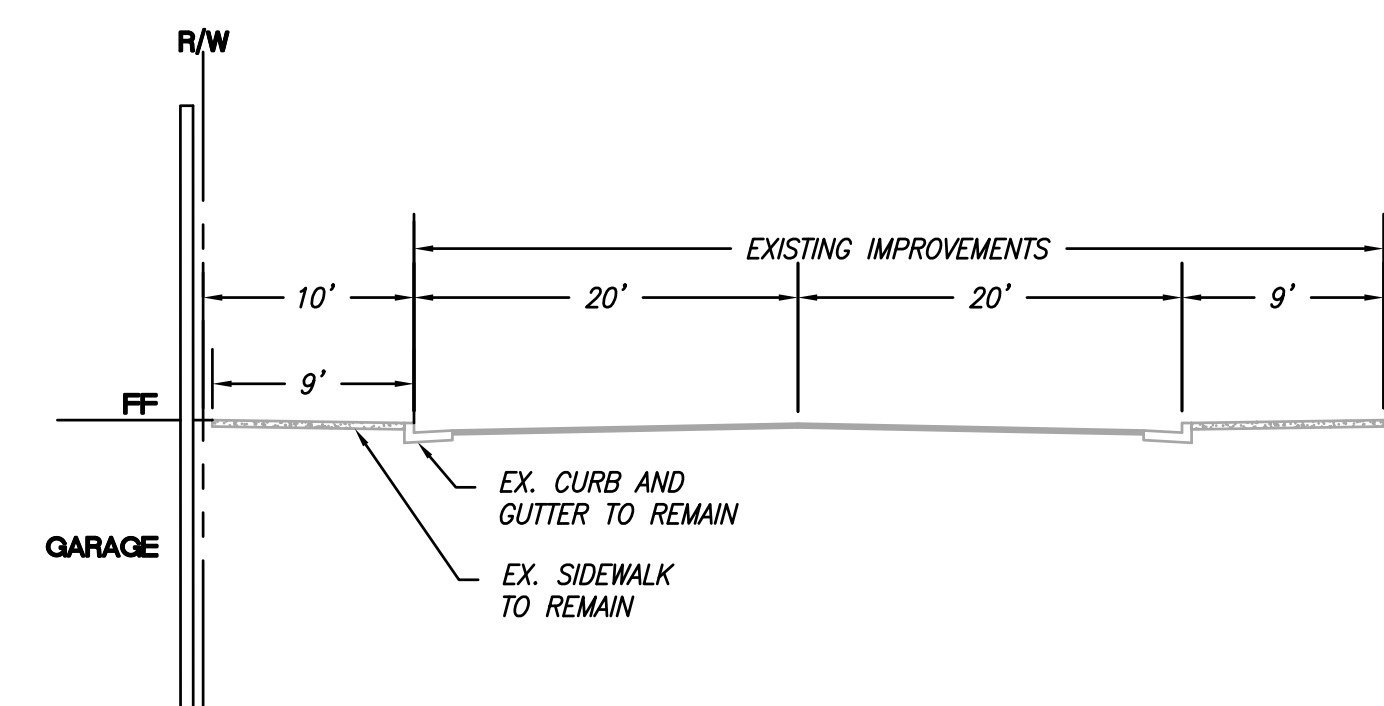
NOTE: TO CONVERT ELEVATIONS TO CSJ DATUM SUBTRACT 2.75  
FEET



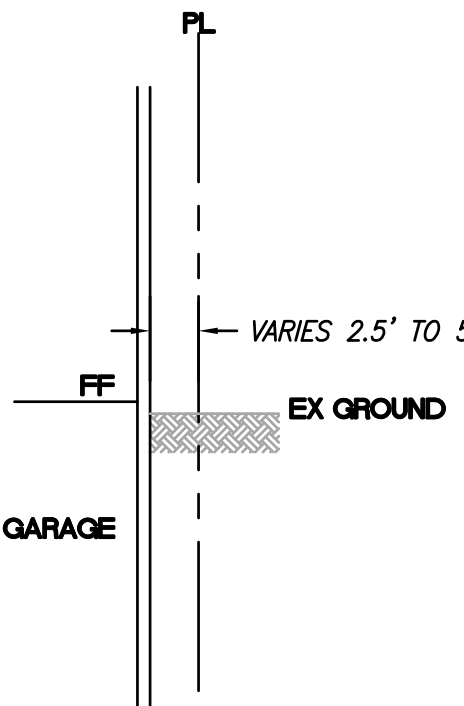
LEGEND		DESCRIPTION
EXISTING	PROPOSED	PROPERTY LINE
---	---	CENTERLINE
---	---	CONTOUR
---	---	15% SLOPE LINE
---	---	CONCRETE CURB & GUTTER
---	---	RETAINING WALL
---	---	SANITARY SEWER
---	---	SANITARY SEWER
---	---	SANITARY MANHOLE
---	---	SANITARY CLEANOUT
---	---	STORM MANHOLE
---	---	V-84 CURBITY DRAIN OR EQUAL
---	---	STANDARD HOODED INLET
---	---	AREA DRAIN
---	---	SIDEWALK
---	---	POSITIVE RELEASE
---	---	FINISHED FLOOR ELEVATION
---	---	PAD ELEVATION
---	---	TOP OF CURB ELEVATION
---	---	FLOW LINE ELEVATION
---	---	SLOPE
---	---	GRADE BREAK
---	---	TOP OF WALL
---	---	BOTTOM OF WALL



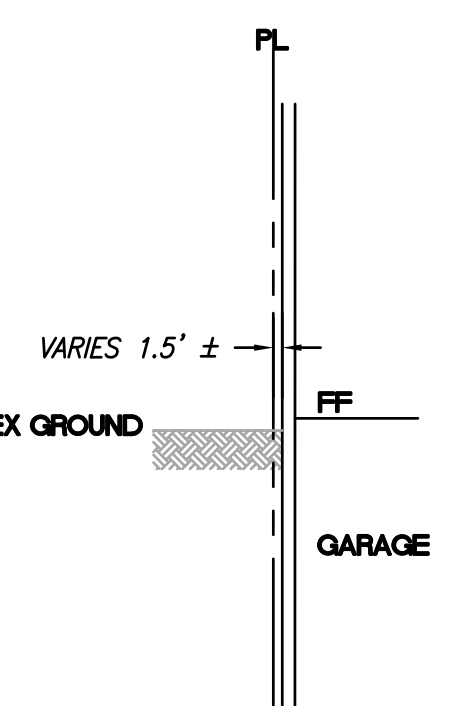
SECTION A



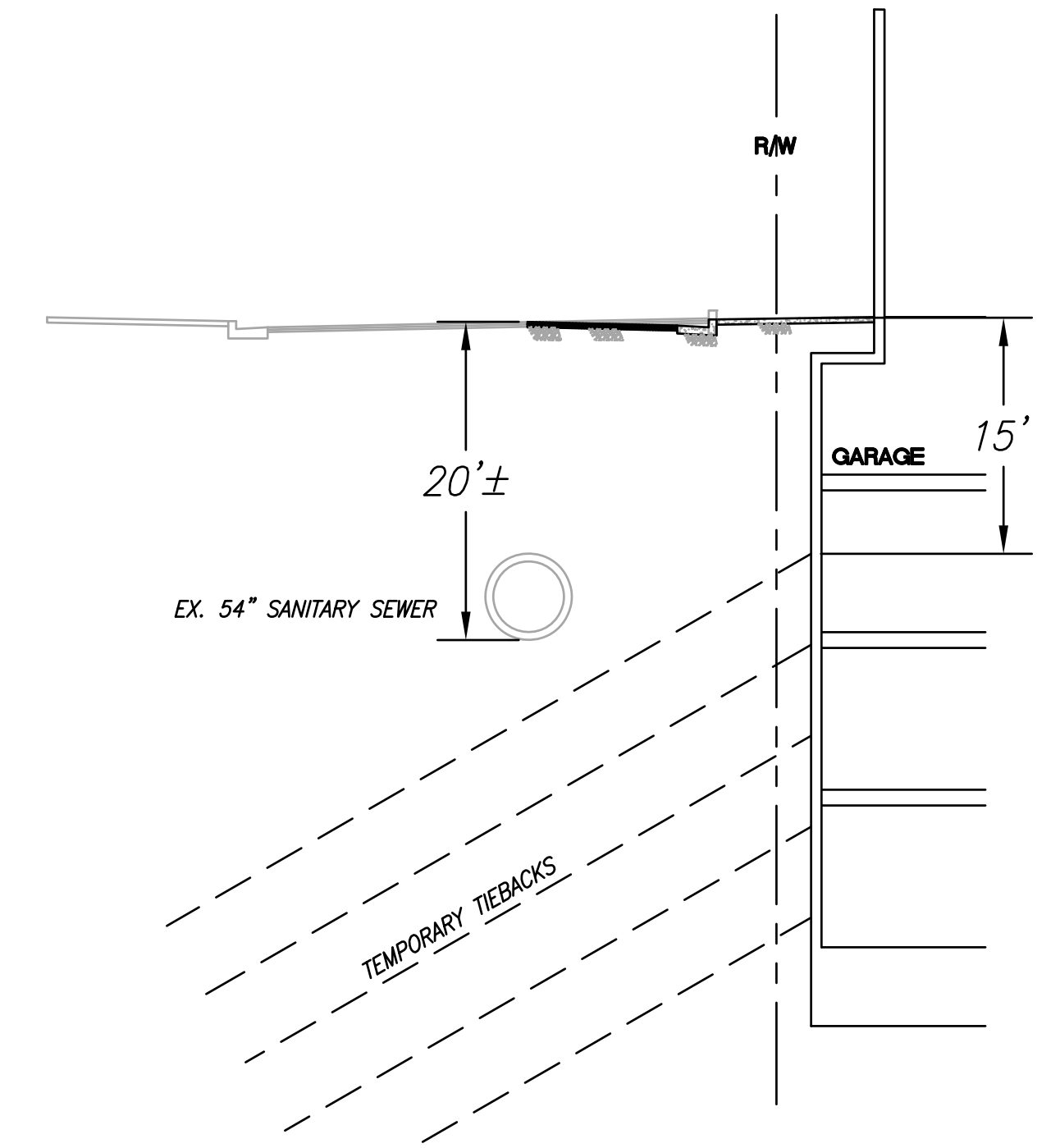
SECTION B



SECTION C

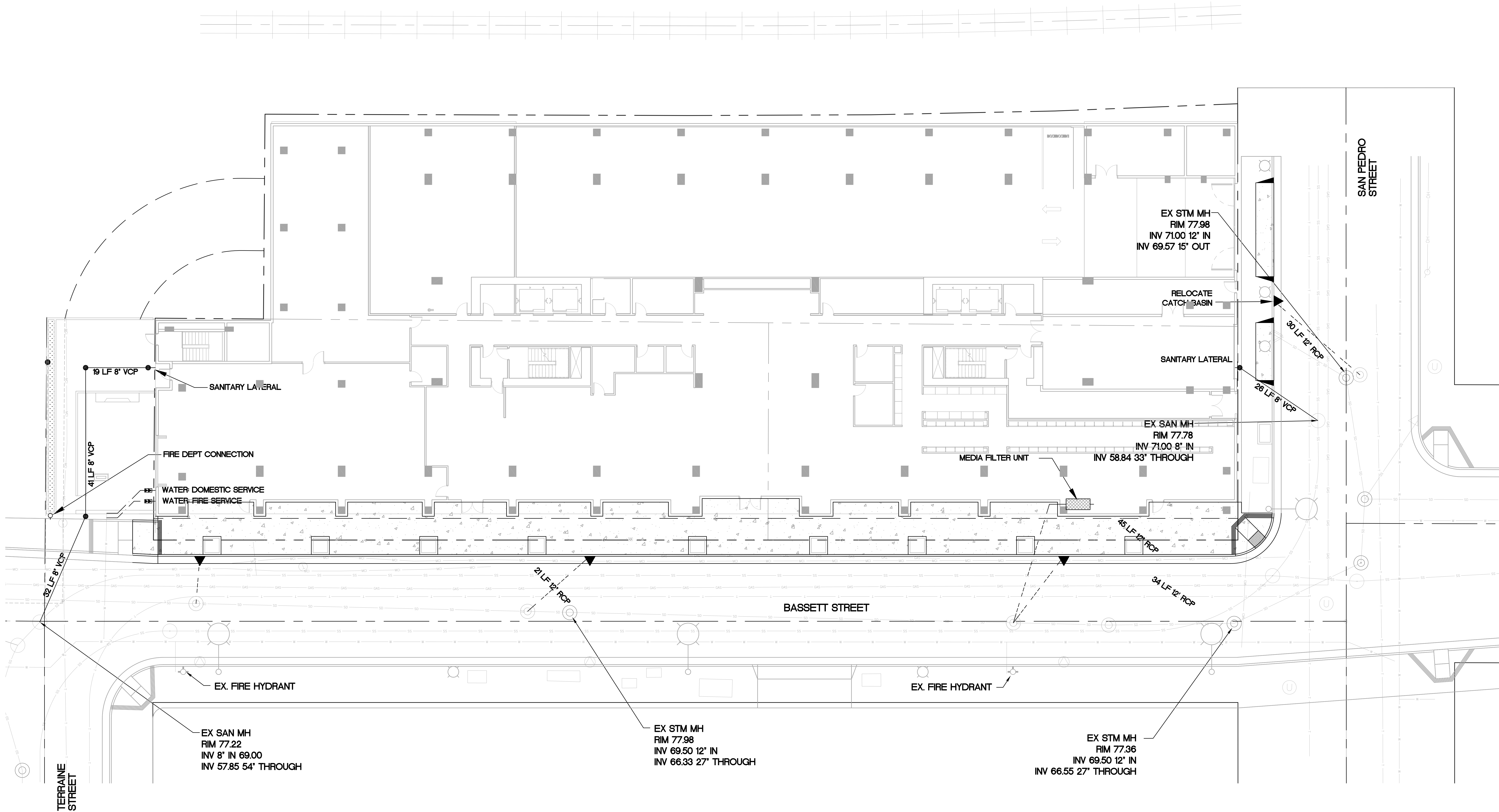
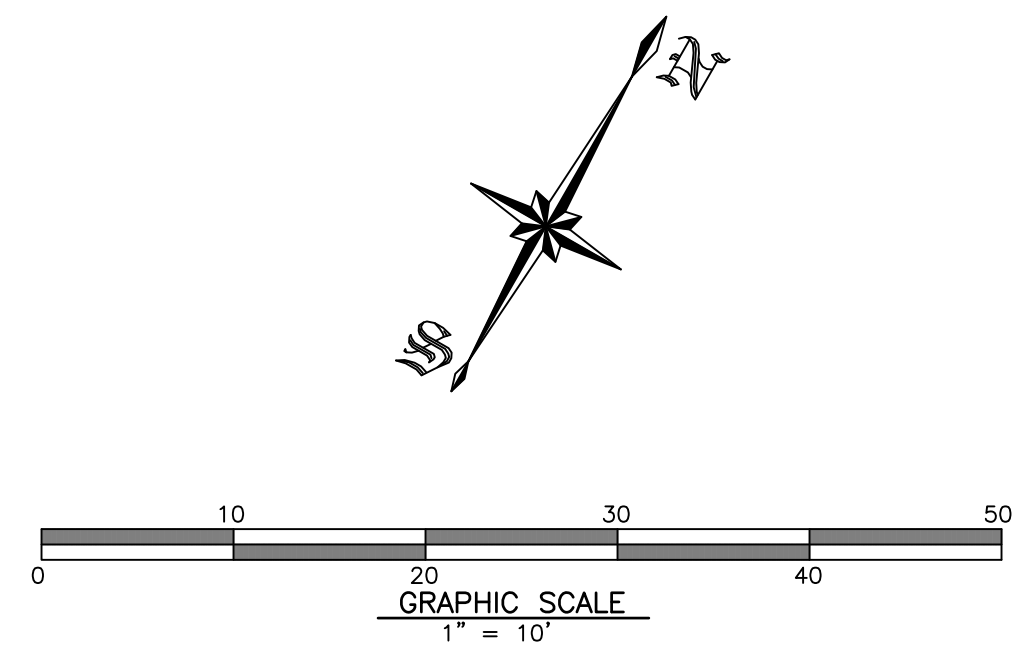


SECTION D



TYPICAL SHORING SECTION





BENCHMARK:  
SCVWD BM984

USGS BRASS DISK (E1447) ON THE TOP OF THE SOUTHEASTERLY  
END, OF MOST SOUTHERLY CONCRETE FOOTING FOR BRIDGE'S  
BENT; AT THE INTERSECTION OF UPRR TRACKS, UNDER COLEMAN  
AVENUE

ELEVATION 79.72 (NAVD88)

NOTE: TO CONVERT ELEVATIONS TO CSJ DATUM SUBTRACT 2.75  
FEET

**BASSETT @  
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**199 BASSETT, LLC**

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**199 BASSETT ST  
SAN JOSE, CA 95110**

PERMIT #:  
**SP17-023, SPA18-\_\_**

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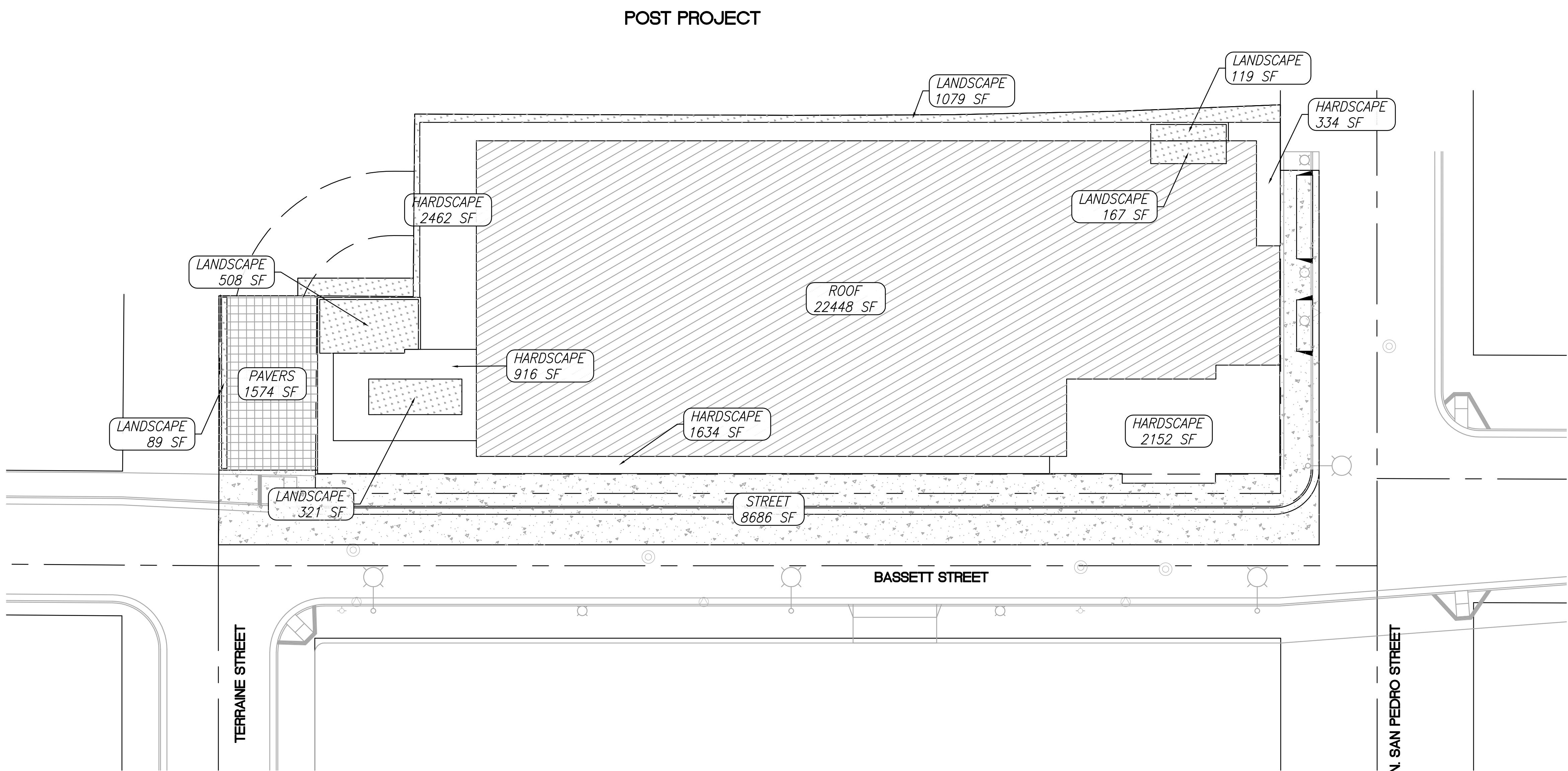
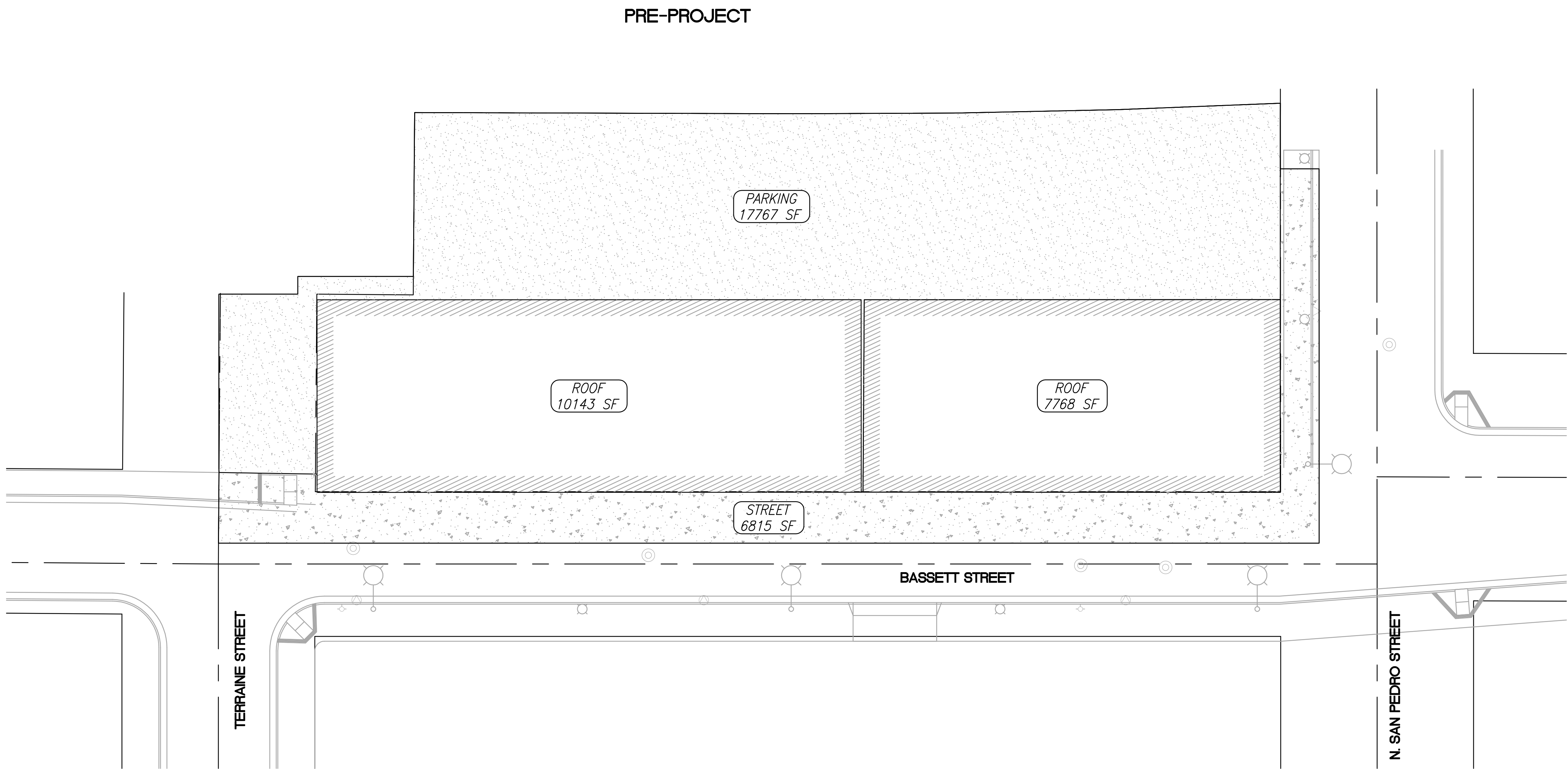
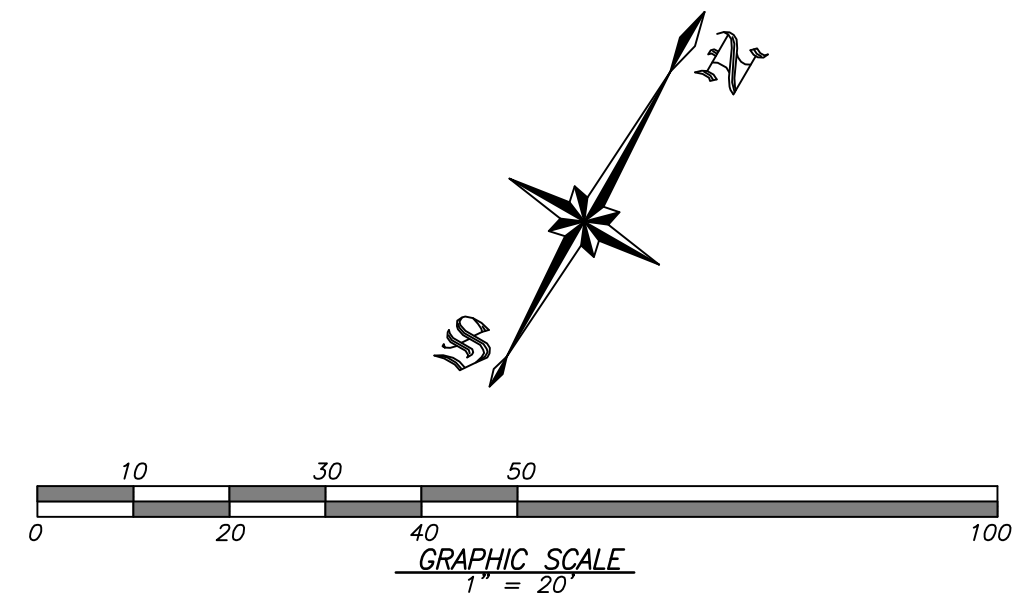
FOR PLAN REVIEW ONLY

SHEET TITLE:  
**UTILITY PLAN**

SHEET NO.:

**C303**





LEGEND		DESCRIPTION
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	CENTERLINE
---	---	CONTOUR
---	---	15% SLOPE LINE
---	---	CONCRETE CURB & GUTTER
---	---	RETAINING WALL
---	---	SANITARY SEWER
---	---	SANITARY SEWER
---	---	SANITARY MANHOLE
---	---	SANITARY CLEANOUT
---	---	STORM MANHOLE
---	---	V-64 CHRISTY DRAIN OR EQUAL
---	---	STANDARD HOODED INLET
---	---	AREA DRAIN
---	---	SIDEWALK
---	---	POSITIVE RELEASE
---	---	FINISHED FLOOR ELEVATION
---	---	PAD ELEVATION
---	---	TOP OF CURB ELEVATION
---	---	FLOW LINE ELEVATION
---	---	SLOPE
---	---	GRADE BREAK
---	---	TOP OF WALL
---	---	BOTTOM OF WALL

CITY OF SAN JOSE PRICE STAMP

**BASSETT @  
NORTH SAN  
PEDRO**

OWNER:  
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ADDRESS:  
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**FOR PLAN REVIEW ONLY**

SHEET TITLE:  
**PERVIOUS IMPERVIOUS  
COMPARISON  
PLAN**

SHEET NO.:

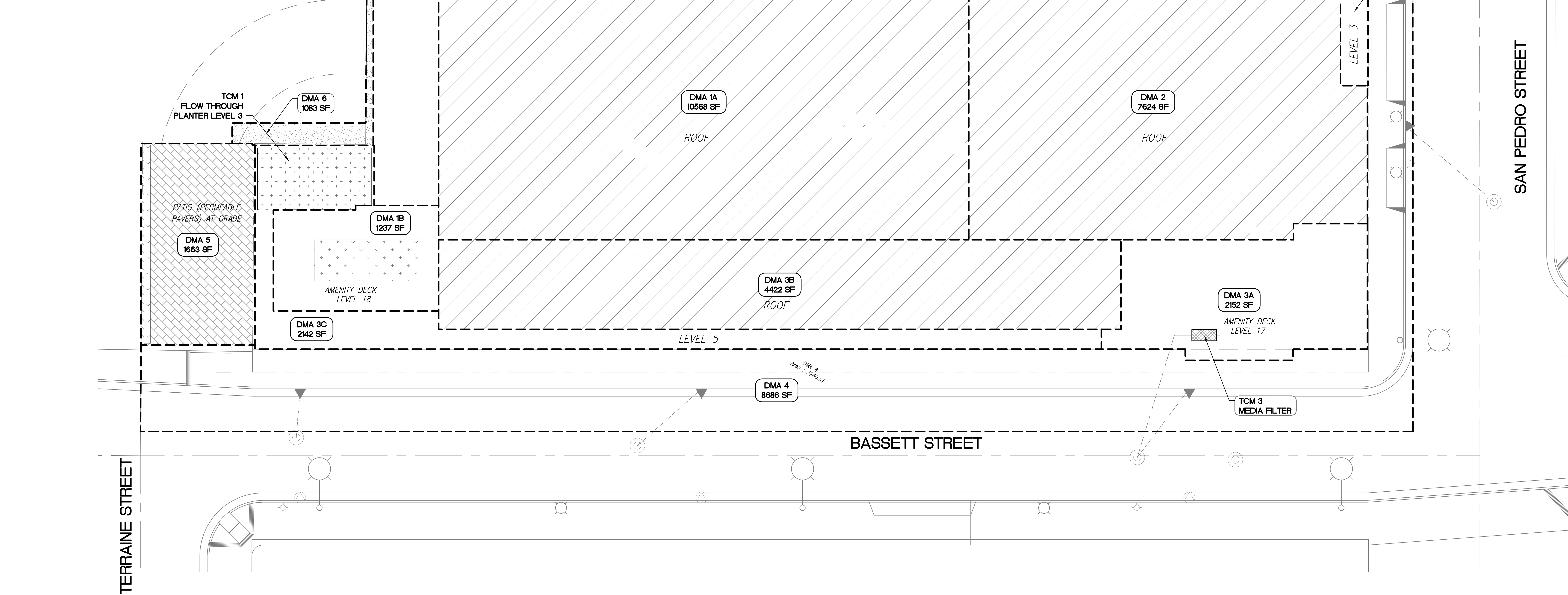
**C304**

PRE-PROJECT

POST PROJECT

PERVIOUS AND IMPERVIOUS SURFACES COMPARISON TABLE				
a. Project Phase Number (N/A, L 2, L 3, etc.):	n/a	b. Total Site (acres):	0.98	
c. Total Site Existing: Impervious Surfaces (square feet):	42492	d. Total Area of Site: Disturbed (acres):	0.98	
e. Impervious Surfaces	Existing Condition of Site Area Disturbed (square feet)	Proposed Condition of Site Area Disturbed (square feet)		
Roof Area(s)	17911	Replaced <sup>1</sup>	22448	New <sup>2</sup>
Parking	17767		0	0
Sidewalks, Patios, Driveways, etc.	0		7498	0
Streets (public) Roadway Project	6815		8686	0
Streets (private)	0		0	0
Total Impervious Surfaces:	c.1: 42493	c.2: 38632	c.3: 0	
f. Pervious Surfaces	Existing Condition of Site Area Disturbed (square feet)	Proposed Condition of Site Area Disturbed (square feet)		
Landscaped Areas	0		0	1204
Pervious Paving	0		0	1574
Other Pervious Surfaces (green roof, etc.)	0		0	1079
Total Pervious Surfaces:	f.1: 0	f.2: 0	f.3: 3857	
g. Total Proposed Replaced + New Impervious Surfaces (c.2 + c.3):		38632		
h. Total Proposed Replaced + New Pervious Surfaces (f.2 + f.3):		3857		
i. Percent of Replacement of Impervious Area in redevelopment projects (c.3 ÷ c.1 x 100):				90 %
Table Footnotes: <sup>1</sup> Proposed Replaced Impervious Surfaces: All impervious surfaces added to any area of the site that was a previously existing impervious surface. <sup>2</sup> Proposed New Impervious Surfaces: All impervious surfaces added to any area of the site that was a previously existing pervious surface.				





\*\*Per Chapter 2.3 of the C3 Stormwater Handbook Roadway projects that add new sidewalk along an existing roadway are exempt from Provision C.3.c of the Municipal Stormwater Permit.

SITE COVERAGE

BLDG FOOTPRINT:  $\frac{30,998 \text{ SF}}{33,759 \text{ SF}} \times 100 = 92\%$   
LOT AREA:

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SIZING FOR VOLUME BASED TREATMENT			
DMA #	1A AND 1B		
A=	11805 s.f.		
Impervious Area =	11484 s.f.	% Imperviousness=	97.28%
MAPsite =	15	Correction Factor=	1.0791
MAPgage =	13.9		
Clay (D):		Sandy Clay (D):	
Silt Loam/Loam (B):	X	Not Applicable (100% Impervious):	X
Are the soils outside the building footprint not graded/compacted? N/A Yes/No			
If no, and the soil will be compacted during site preperation and grading, the soils infiltration ability will be decreased. Modify your answer to a soil with a lower infilatraion rate (eg. Silt Loam to Clay)			
Modified Soil Type: CLAY			
S=	1.00%		
UBS Volume for 1% Slope (UBS1%) = 0.56485413 inches (Use Figure B-2)			
UBS Volume for 15% Slope (UBS15%) = 0.58406557 inches (Use Figure B-5)			
UBS Volume for X% Slope (UBSX%) = 0.56485413 inches (Corrected Slope for the site)			
Adjusted UBS = Correction Factor (Step 2) x UBSx% (Step 5)			
Adjusted UBS = 0.6095548 inches			
Design Volume = Adjusted UBS (Step 6) x Drainage Area (Step 1) x 1ft/12inch			
Design Volume = 599.65 ft³			
COMBO FLOW & VOLUME BIORETENTION CALCULATION			
Total Drainage Area =	11.805 sq. ft		
Impervious Area =	11.484 sq. ft		
Pervious Area =	321 sq. ft		
Equivalent Impervious Area =	32 sq. ft	Total Equivalent Impervious =	11.516 sq. ft
Rainfall intensity =	0.2 in/hr		
Duration =	Adjusted UBS (Step 6) / Rainfall Intensity		
Duration =	3.0477741 hrs		
Estimate the Surface Area = 340 sq. ft (Typically start with Total Impervious x 0.03)			
Volume of Treated Runoff =	431.76799 cu. ft		
Volume in Ponding Area =	167.88156 cu. ft		
Depth of Ponding =	0.4937693 ft	Depth of Ponding =	5.9 inches (Round up)
If Depth of Ponding is less than 6" the design can be optimized with a smaller surface area. (repeat)			
If Depth of Ponding is greater than 12" a larger surface area will be required (repeat)			
If Depth of Ponding is between 6" to 12" this is the range allowable for bioretention of flow through planters.			

SIZING FOR VOLUME BASED TREATMENT			
DMA #	2		
A=	7958 s.f.		
Impervious Area =	7958 s.f.	% Imperviousness=	100.00%
MAPsite =	15	Correction Factor=	1.0791
MAPgage =	13.9		
Clay (D):		Sandy Clay (D):	
Silt Loam/Loam (B):	X	Not Applicable (100% Impervious):	X
Are the soils outside the building footprint not graded/compacted? N/A Yes/No			
If no, and the soil will be compacted during site preperation and grading, the soils infiltration ability will be decreased. Modify your answer to a soil with a lower infilatraion rate (eg. Silt Loam to Clay)			
Modified Soil Type: CLAY			
S=	1.00%		
UBS Volume for 1% Slope (UBS1%) = 0.58 inches (Use Figure B-2)			
UBS Volume for 15% Slope (UBS15%) = 0.6 inches (Use Figure B-5)			
UBS Volume for X% Slope (UBSX%) = 0.58 inches (Corrected Slope for the site)			
Adjusted UBS = Correction Factor (Step 2) x UBSx% (Step 5)			
Adjusted UBS = 0.6258993 inches			
Design Volume = Adjusted UBS (Step 6) x Drainage Area (Step 1) x 1ft/12inch			
Design Volume = 415.08 ft³			
COMBO FLOW & VOLUME BIORETENTION CALCULATION			
Total Drainage Area =	7.958 sq. ft		
Impervious Area =	7.958 sq. ft		
Pervious Area =	0 sq. ft		
Equivalent Impervious Area =	0 sq. ft	Total Equivalent Impervious =	7.958 sq. ft
Rainfall intensity =	0.2 in/hr		
Duration =	Adjusted UBS (Step 6) / Rainfall Intensity		
Duration =	3.1294964 hrs		
Estimate the Surface Area = 230 sq. ft (Typically start with Total Impervious x 0.03)			
Volume of Treated Runoff =	299.91007 cu. ft		
Volume in Ponding Area =	115.16547 cu. ft		
Depth of Ponding =	0.5007194 ft	Depth of Ponding =	6 inches (Round up)

MEDIA FILTER SIZING			
DMA #	3		
A=	11297 s.f.	A=	0.25934 acre
C Value	Area* (s.f.)	Weighted C Value	Rainfall Intensity (i)
0.9	10,789		i = 0.17
0.8	0	0.864	
0.7	0		
0.1	508		
* Input Values by hand or use Table at the bottom of the spreadsheet.			
Q= C x i x A			
Q= 0.0380935 cfs			
Manufacturer: Contech StormFilter			
Cartridge Height: 18 in.			
Cartridge Media (if applicable): PhosphoSorb			
G.U.L.D. Cartridge Treatment Flowrate (CTF): 12.5 gpm/cartridge			
# Cartridges= [Q x (449 gpm/cfs)] / CTF			
# Cartridges = 1.368319 (round up)			
# Cartridges Required= 2			
Treatment Flow Rate Capacity= 0.055679 cfs			



ACTIVITIES FOR MEDIA FILTERS		ROUTINE MAINTENANCE
NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	INSPECT FOR STANDING WATER, SEDIMENT, TRASH AND DEBRIS.	MONTHLY DURING RAINY SEASON
2	REMOVE ACCUMULATED TRASH AND DEBRIS IN THE UNIT DURING ROUTINE INSPECTIONS.	MONTHLY DURING RAINY SEASON OR AS NEEDED AFTER STORM EVENTS
3	INSPECT TO ENSURE THAT THE FACILITY IS DRAINING COMPLETELY WITHIN FIVE DAYS AND PER MANUFACTURER'S SPECIFICATIONS.	ONCE DURING THE WET SEASON AFTER MAJOR STORM EVENT.
4	REPLACE THE MEDIA PER MANUFACTURER'S INSTRUCTIONS OR AS INDICATED BY THE CONDITION OF THE UNIT.	PER MANUFACTURER'S SPECIFICATIONS.
5	INSPECT MEDIA FILTERS USING THE ATTACHED INSPECTION CHECKLIST.	QUARTERLY OR AS NEEDED

## STANDARD STORMWATER CONTROL NOTES:

- STANDING WATER SHALL NOT REMAIN IN THE TREATMENT MEASURES FOR MORE THAN FIVE DAYS, TO PREVENT MOSQUITO GENERATION. SHOULD ANY MOSQUITO ISSUES ARISE, CONTACT THE SANTA CLARA VALLEY VECTOR CONTROL DISTRICT (DISTRICT). MOSQUITO LARVICIDES SHALL BE APPLIED ONLY WHEN ABSOLUTELY NECESSARY, AS INDICATED BY THE DISTRICT, AND THEN ONLY BY A LICENSED PROFESSIONAL OR CONTRACTOR. CONTACT INFORMATION FOR THE DISTRICT IS PROVIDED BELOW.
- DO NOT USE PESTICIDES OR OTHER CHEMICAL APPLICATIONS TO TREAT DISEASED PLANTS, CONTROL WEEDS OR REMOVED UNWANTED GROWTH. EMPLOY NON-CHEMICAL CONTROLS (BIOLOGICAL, PHYSICAL AND CULTURAL CONTROLS) TO TREAT A PEST PROBLEM. PRUNE PLANTS PROPERLY AND AT THE APPROPRIATE TIME OF YEAR. PROVIDE ADEQUATE IRRIGATION FOR LANDSCAPE PLANTS. DO NOT OVER WATER.

## SOURCE CONTROL MEASURES:

- CONNECT THE FOLLOWING FEATURES TO SANITARY SEWER:
  - COVERED TRASH/ RECYCLING ENCLOSURES.
  - INTERIOR PARKING STRUCTURES.
  - POOLS, SPAS, FOUNTAINS.
  - COVERED LOADING DOCKS AND MAINTENANCE BAYS.
  - PUMPED GROUNDWATER.
- USE OF WATER EFFICIENT IRRIGATION SYSTEMS.
- MAINTENANCE (PAVEMENT SWEEPING, CATCH BASIN CLEANING, GOOD HOUSEKEEPING).
- STORM DRAIN LABELING.

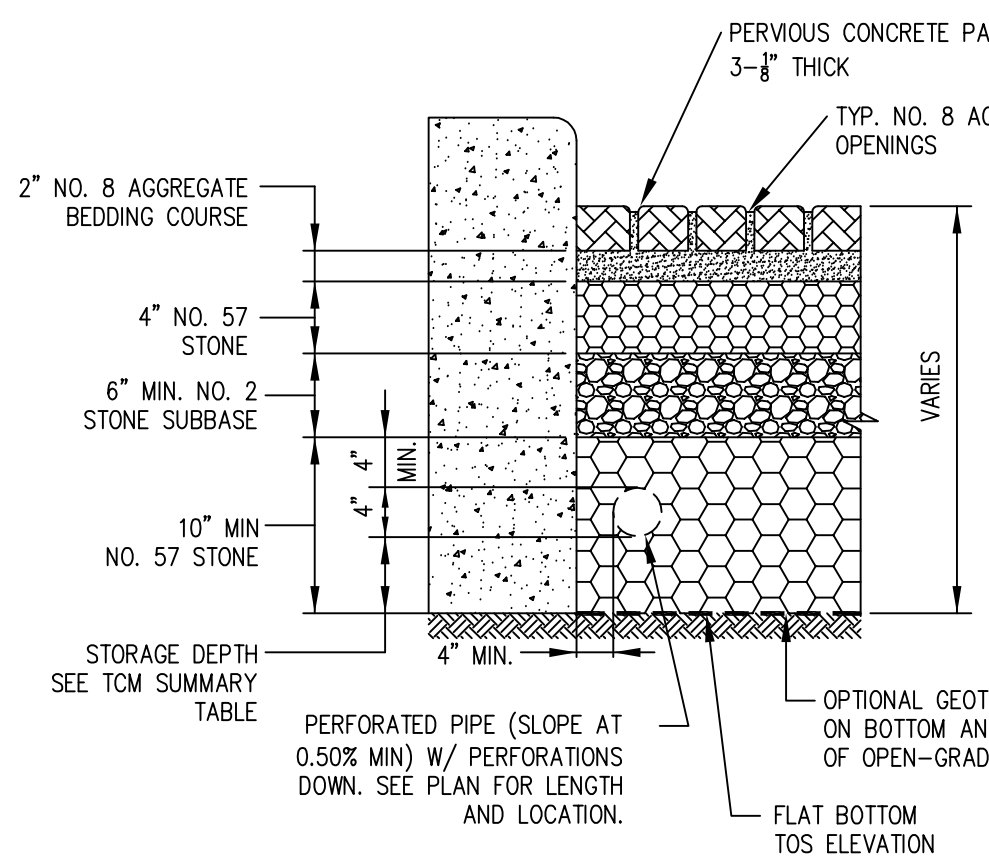
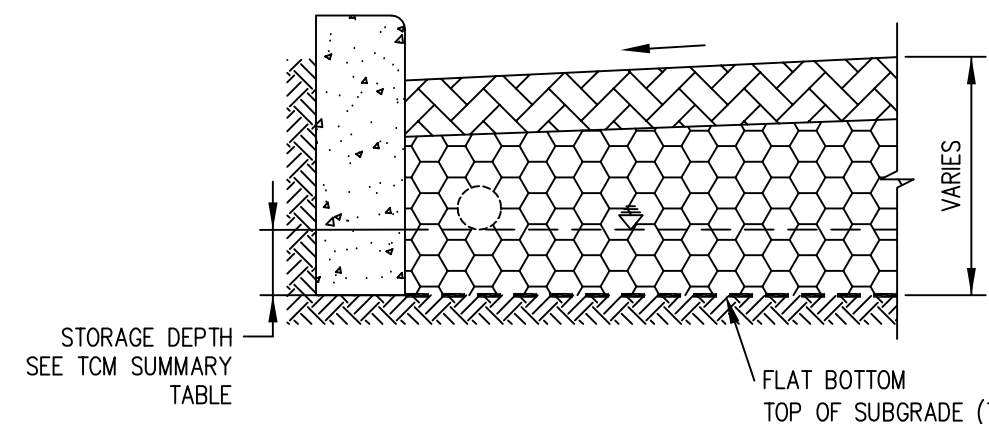
## SITE DESIGN MEASURES:

- REDUCE EXISTING IMPERVIOUS SURFACES.
- CREATE NEW PERVIOUS AREAS:
  - LANDSCAPE PLANTERS AND STREET TREES
- DIRECT RUNOFF FROM ROOFS, SIDEWALKS, PATIOS TO LANDSCAPED AREAS.
- PLANT TREES ADJACENT TO AND IN PARKING AREAS AND ADJACENT TO OTHER IMPERVIOUS AREAS.
- PARKING:
  - UNDER BUILDINGS.

## PERVIOUS PAVER REQUIREMENTS

CONTRACTOR OR PERMITEE SHALL:

- PROVIDE CERTIFICATION FROM THE PAVER MANUFACTURER THAT THE PAVERS MEET THE REQUIREMENTS OF THE C3 STORMWATER HANDBOOK FOR PERVIOUS PAVERS. THIS INCLUDES, BUT IS NOT LIMITED TO, HAVING A MINIMUM SURFACE INFILTRATION RATE OF 100"HR WHEN TESTED IN ACCORDANCE WITH ASTM C1701.
- ONLY CONTRACTORS HOLDING CERTIFICATION OF COMPLETION IN THE INTERLOCKING CONCRETE PAVEMENT INSTITUTES (ICPI) INSTALLER TECHNICIAN COURSE SHALL BE USED TO INSTALL THE PAVERS AND AT LEAST ONE FOREMAN WITH THIS CERTIFICATION MUST BE ON THE JOBSITE AT ALL TIMES DURING CONCRETE PAVEMENT INSTALLATION.
- PROTECT THE EXCAVATED AREA FOR PERVIOUS PAVERS FROM EXCESSIVE COMPACTION DUE TO CONSTRUCTION TRAFFIC AND PROTECT THE FINISHED PAVEMENT FROM CONSTRUCTION TRAFFIC.



PERVIOUS PAVEMENT ( SELF RETAINING)

2 CARTRIDGE LINEAR STORMFILTER DESIGN NOTES						
2 CARTRIDGE LINEAR STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. THE STANDARD VAULT STYLE IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES (2).						
CARTRIDGE SELECTION						
CARTRIDGE HEIGHT	27"	18"	LOW DROP			
RECOMMENDED HYDRAULIC DROP (H)	3.06'	2.3'				
SPECIFIC FLOW RATE (gpm/sf)	2 gpm/sf	1 gpm/sf	2 gpm/sf	1 gpm/sf	2 gpm/sf	1 gpm/sf
CARTRIDGE FLOW RATE (gpm)	22.5	11.25	15	7.5	10	5

SITE SPECIFIC DATA REQUIREMENTS				
STRUCTURE ID		XXX		
WATER QUALITY FLOW RATE (cfs)		X-XX		
PEAK FLOW RATE (cfs)		X-XX		
RETURN PERIOD OF PEAK FLOW (yrs)		XXX		
# OF CARTRIDGES REQUIRED		XX		
CARTRIDGE FLOW RATE (15 OR 7.5 gpm)		XX		
MEDIA TYPE (CSF, PERLITE, ZPG)		XXXXXX		
PIPE DATA:		I.E.	MATERIAL	DIAMETER
INLET PIPE #1		XXX-XX'	XXX	XX"
INLET PIPE #2		XXX-XX'	XXX	XX"
OUTLET PIPE		XXX-XX'	XXX	XX"
RIM				
<div><div>XXX-XX'</div><div>FLOW</div></div>				
LADDER		YES/NO		
ANTI-FLOTATION BALLAST		WIDTH	HEIGHT	
		XX'	XX"	
NOTES/SPECIAL REQUIREMENTS:				

3' x 3' ACCESS DOORS  
N.T.S.

## PERFORMANCE SPECIFICATION

FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF-CLEANING. RADIAL MEDIA DEPTH SHALL BE 7-INCHES. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 37 SECONDS. SPECIFIC FLOW RATE SHALL BE 2 GPM/SF (MAXIMUM). SPECIFIC FLOW RATE IS THE MEASURE OF THE FLOW (GPM) DIVIDED BY THE MEDIA SURFACE CONTACT AREA (SF). MEDIA VOLUMETRIC FLOW RATE SHALL BE 6 GPM/GF OF MEDIA (MAXIMUM).

## GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. [www.ContechES.com](http://www.ContechES.com)
- STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0'-5' AND GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M208 AND BE CAST WITH THE CONTECH LOGO.

## INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE (LIFTING CLUTCHES PROVIDED).
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL SECTIONS AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH OUTLET PIPE INVERT WITH OUTLET BAY FLOOR.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.
- CONTRACTOR TO REMOVE THE TRANSFER HOLE COVER WHEN THE SYSTEM IS BROUGHT ONLINE.

2 CARTRIDGE LINEAR PRECAST STORMFILTER  
PLAN AND SECTION DETAIL  
STANDARD DETAIL

## BIOTREATMENT SOIL REQUIREMENTS

- BIOTRETENTION SOIL MIX SHALL MEET THE REQUIREMENTS AS OUTLINED IN APPENDIX C OF THE C.3 STORM WATER HANDBOOK AND SHALL BE A MIXTURE OF FINE SAND AND COMPOST MEASURED ON A VOLUME BASIS OF 60-70% SAND AND 30-40% COMPOST. CONTRACTOR TO REFER TO APPENDIX C FOR SAND AND COMPOST MATERIAL SPECIFICATIONS. CONTRACTOR MAY OBTAIN A COPY OF THE C.3 HANDBOOK AT: [HTTP://WWW.SANJOECGA.GOV/INDEX.ASPX?ID=1761](http://www.sanjoecga.gov/index.aspx?ID=1761)
- PRIOR TO ORDERING THE BIOTREATMENT SOIL MIX OR DELIVERY TO THE PROJECT SITE, CONTRACTOR SHALL PROVIDE A BIOTREATMENT SOIL MIX SPECIFICATION CHECKLIST, COMPLETED BY THE SOIL MIX SUPPLIER AND CERTIFIED TESTING LAB.

SIZING METHODS:  
FLOW-COMBO  
4%

3

## FLOW-THROUGH PLANTER ( ABOVE GRADE)

N.T.S.

ACTIVITIES FOR FLOW-THROUGH PLANTERS		ROUTINE MAINTENANCE
NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	INSPECT THE PLANTER SURFACE AREA, INLETS AND OUTLETS FOR OBSTRUCTIONS AND TRASH. CLEAR ANY OBSTRUCTIONS AND REMOVE TRASH.	QUARTERLY
2	INSPECT PLANTER FOR STANDING WATER. IF STANDING WATER DOES NOT DRAIN WITHIN 2-3 DAYS, THE SURFACE BIOTREATMENT SOIL SHOULD BE TILLED OR REPLACED WITH THE APPROVED SOIL MIX AND REPLANTED. USE THE CLEANOUP RISER TO CLEAR ANY UNDERDRAINS OF OBSTRUCTIONS OR CLOGGING MATERIAL.	QUARTERLY
3	CHECK FOR ERODED OR SETTLED BIOTREATMENT SOIL MEDIA. LEVEL SOIL WITH RAKE AND REMOVE/REPLANT VEGETATION AS NECESSARY.	QUARTERLY
4	MAINTAIN THE VEGETATION AND IRRIGATION SYSTEM. PRUNE AND WEED TO KEEP FLOW-THROUGH PLANTER NEAT AND ORDERLY IN APPEARANCE.	QUARTERLY
5	EVALUATE HEALTH AND DENSITY OF VEGETATION. REMOVE AND REPLACE ALL DEAD AND DISEASED VEGETATION. REMOVE EXCESSIVE GROWTH OF PLANTS THAT ARE TOO CLOSE TOGETHER.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
6	USE COMPOST AND OTHER NATURAL SOIL AMENDMENTS AND FERTILIZERS INSTEAD OF SYNTHETIC FERTILIZERS, ESPECIALLY IF THE SYSTEM USES AN UNDERDRAIN.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
7	INSPECT THE OVERFLOW PIPE TO MAKE SURE THAT IT CAN SAFELY CONVEY EXCESS FLOWS TO A STORM DRAIN. REPAIR OR REPLACE ANY DAMAGED OR DISCONNECTED PIPING. USE THE CLEANOUP RISER TO CLEAR UNDERDRAINS OF OBSTRUCTIONS OR CLOGGING MATERIAL.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
8	INSPECT THE ENERGY DISSIPATOR AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH. REMOVE ANY ACCUMULATION OF SEDIMENT.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
9	INSPECT AND, IF NEEDED, REPLACE WOOD MULCH. IT IS RECOMMENDED THAT 2" TO 3" OF COMPOSTED ARBOR MULCH BE APPLIED ONCE A YEAR.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
10	INSPECT SYSTEM FOR EROSION OF BIOTREATMENT SOIL MEDIA. LOSS OF MULCH, STANDING WATER, CLOGGED OVERFLOWS, WEEDS, TRASH AND DEAD PLANTS. IF USING ROCK MULCH, CHECK FOR 3" OF COVERAGE.	ANNUALLY AT THE END OF THE RAINY SEASON AND/OR AFTER LARGE STORM EVENTS.
11	INSPECT SYSTEM FOR STRUCTURAL INTEGRITY OF WALLS, FLOW SPREADERS, ENERGY DISSIPATORS, CURB CUTS, OUTLETS AND FLOW SPLITTERS.	ANNUALLY AT THE END OF THE RAINY SEASON AND/OR AFTER LARGE STORM EVENTS.

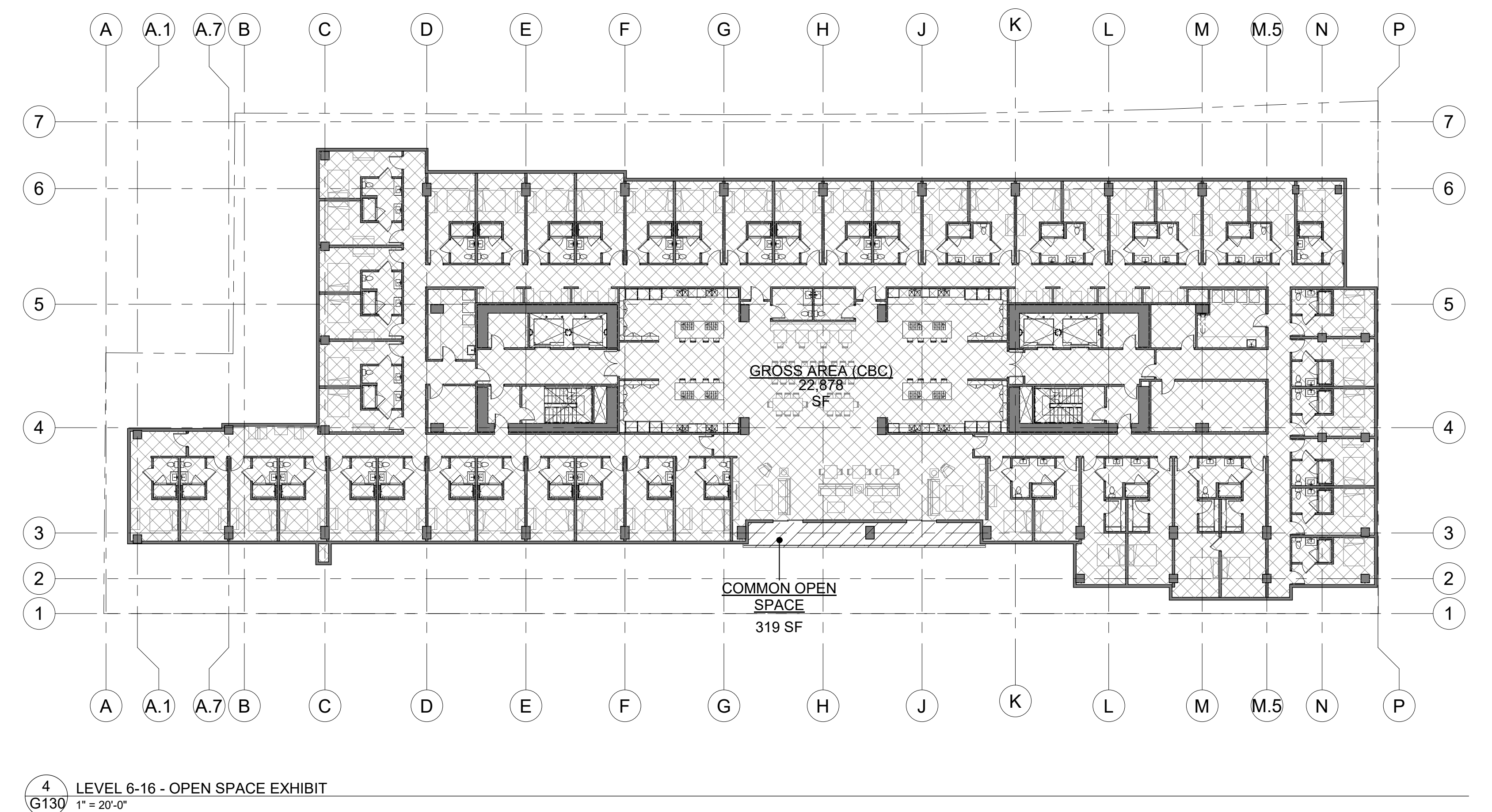
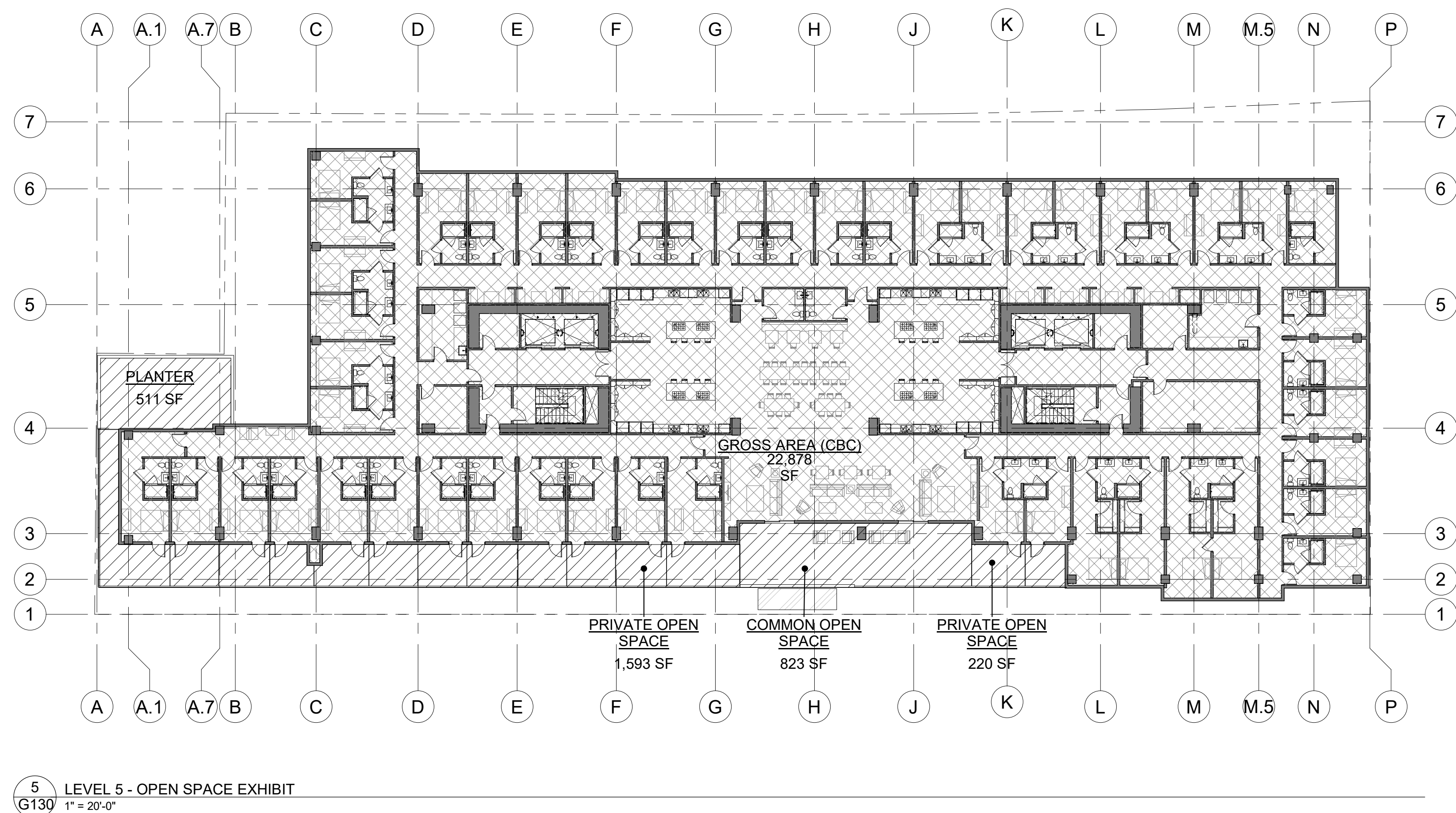
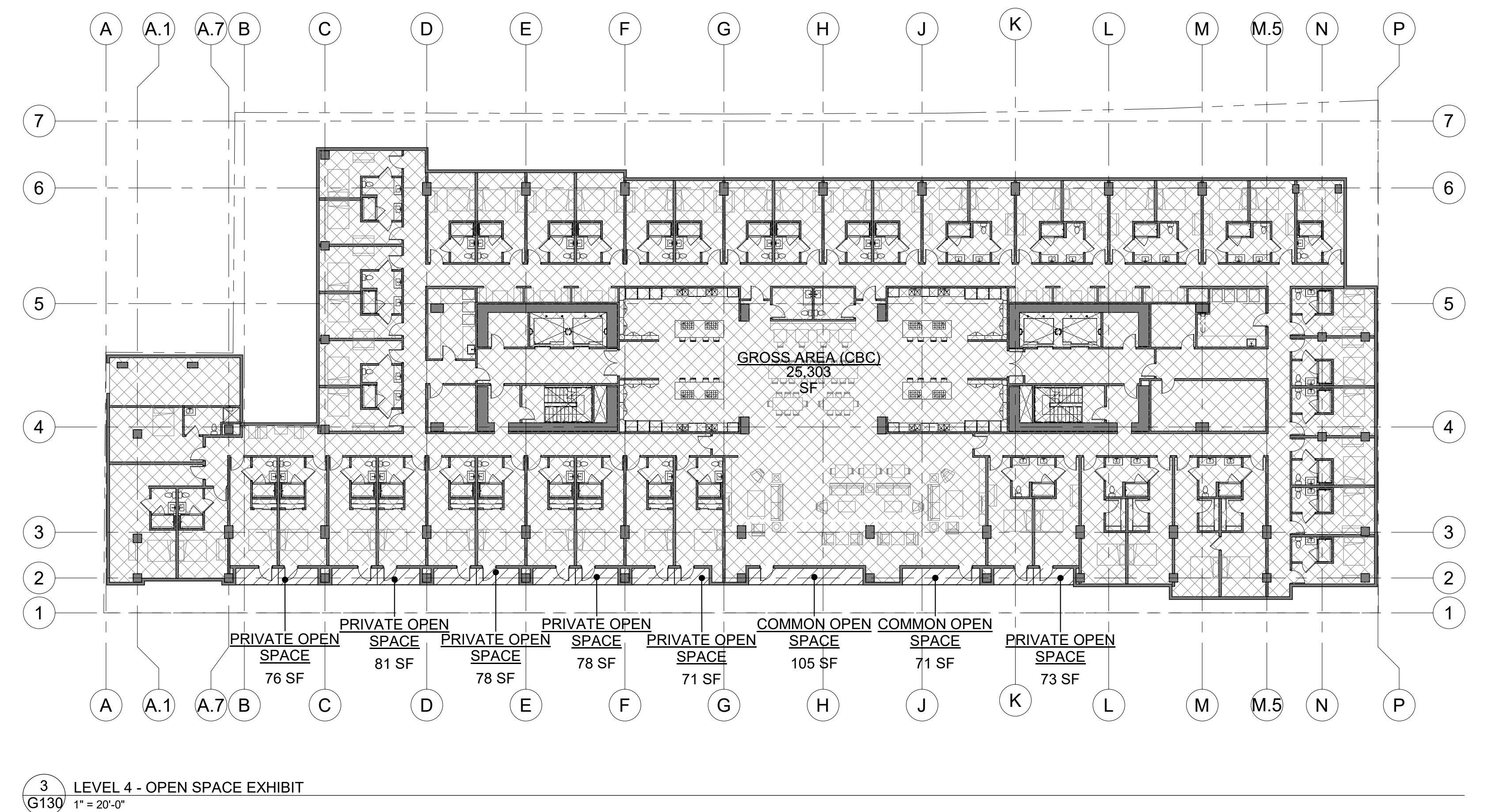
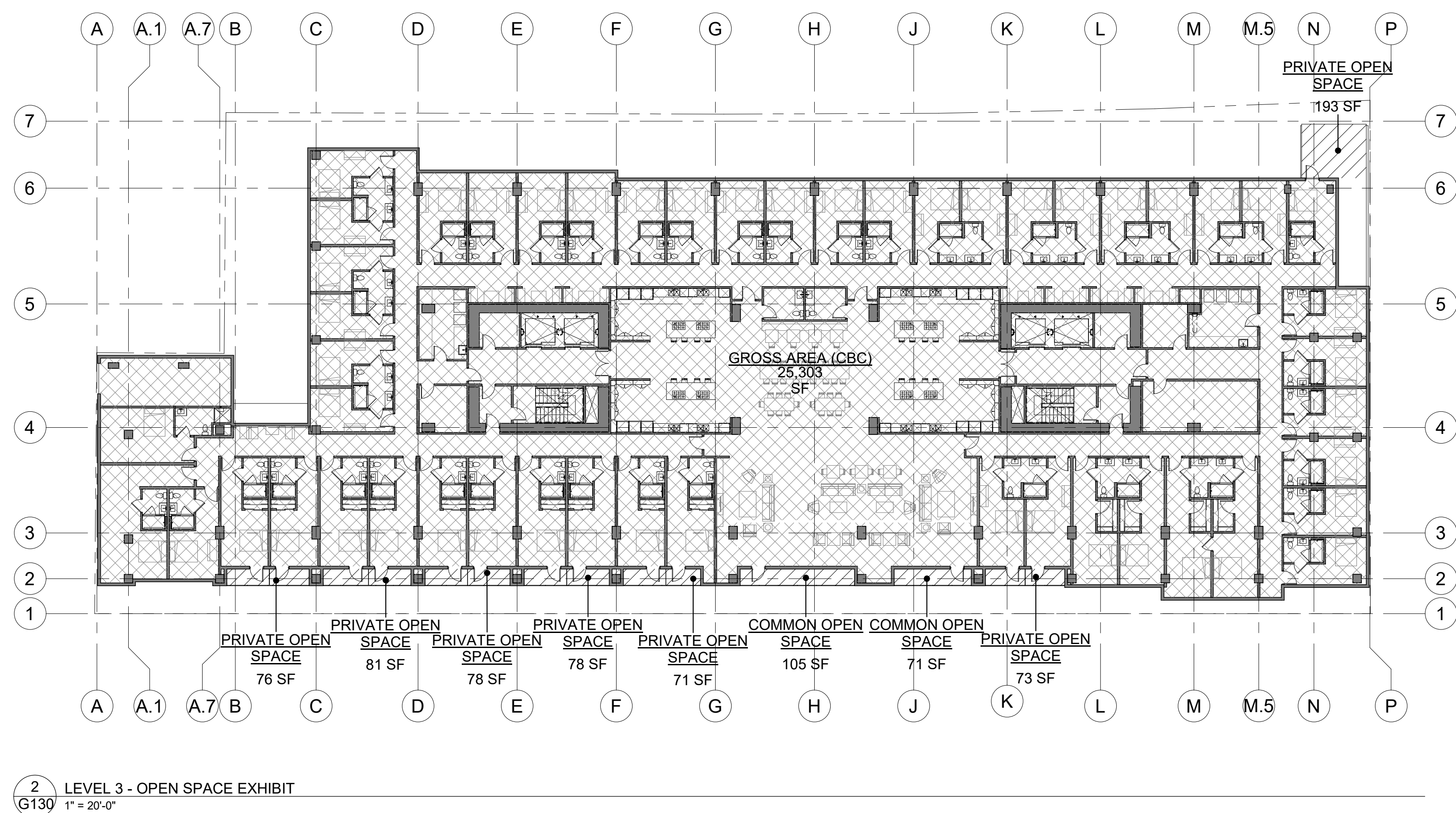
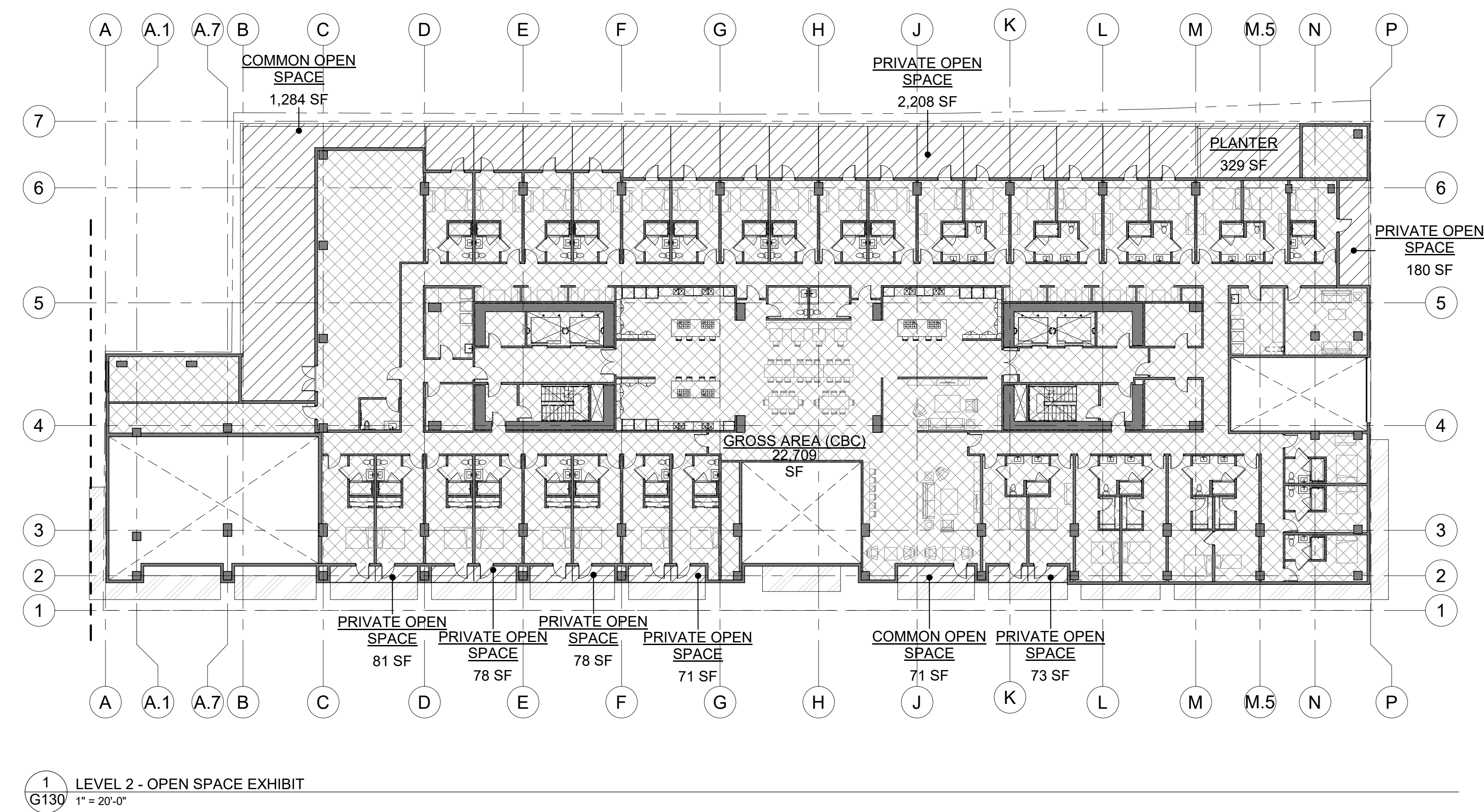
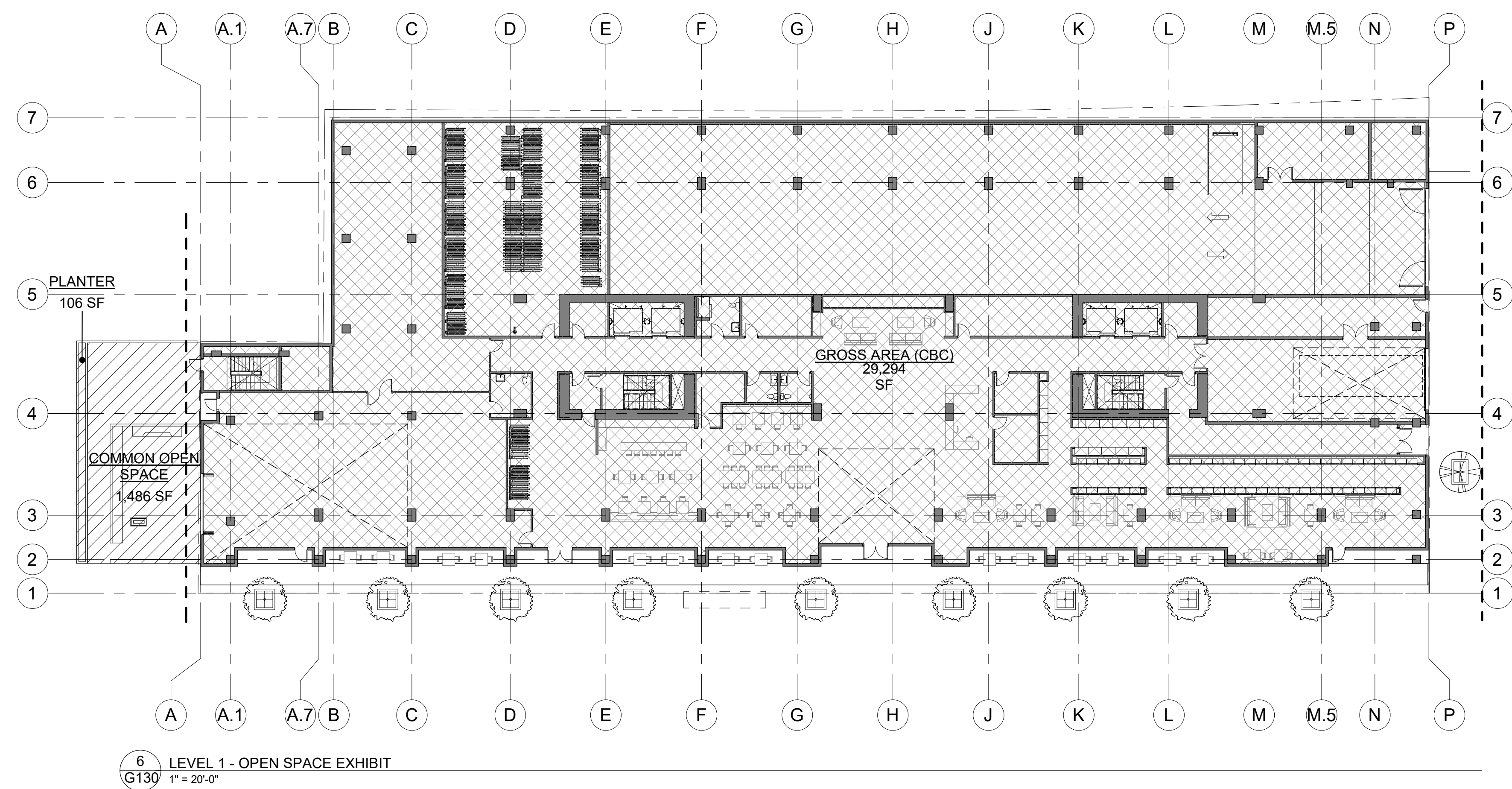
BIOTRETENTION & FLOW-THROUGH PLANTER  
NOTES:

- SEE GRADING PLAN FOR BASIN FOOTPRINT AND DESIGN ELEVATIONS.
- PLACE 3 INCHES OF COMPOSTED, NON-FLOATABLE MULCH IN AREAS BETWEEN STORMWATER PLANTINGS.
- SEE LANDSCAPE PLAN FOR MULCH, PLANT MATERIALS AND IRRIGATION REQUIREMENTS









NOTE: SEE OPEN SPACE TOTALS ON SHEET G100

CITY OF SAN JOSE PBCE STAMP  
**BASSETT @  
NORTH SAN  
PEDRO**

OWNER:  
**199 BASSETT, LLC**

ADDRESS:  
**199 BASSETT ST  
SAN JOSE, CA 95110**

PERMIT #:  
**SP17-023, SPA18-\_\_**

PROJECT NO.: 16213  
DRAWN: Author  
DATE: 11-30-2018  
REVISION: SPECIAL USE PERMIT AMENDMENT

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SHEET TITLE:  
**OPEN SPACE EXHIBIT**

SHEET NO.:  
**G130**

**SPECIAL USE PERMIT AMENDMENT**

**FOR PLAN REVIEW ONLY**



CITY OF SAN JOSE PERM. STAMP

**BASSETT @  
NORTH SAN  
PEDRO**

OWNER:  
**199 BASSETT, LLC**

ADDRESS:  
**199 BASSETT ST  
SAN JOSE, CA 95110**

PERMIT #:  
**SP17-023, SPA18-\_\_**

PROJECT NO.: 16213  
DRAWN: Author  
DATE: 11-30-2018  
REVISION: SPECIAL USE PERMIT AMENDMENT

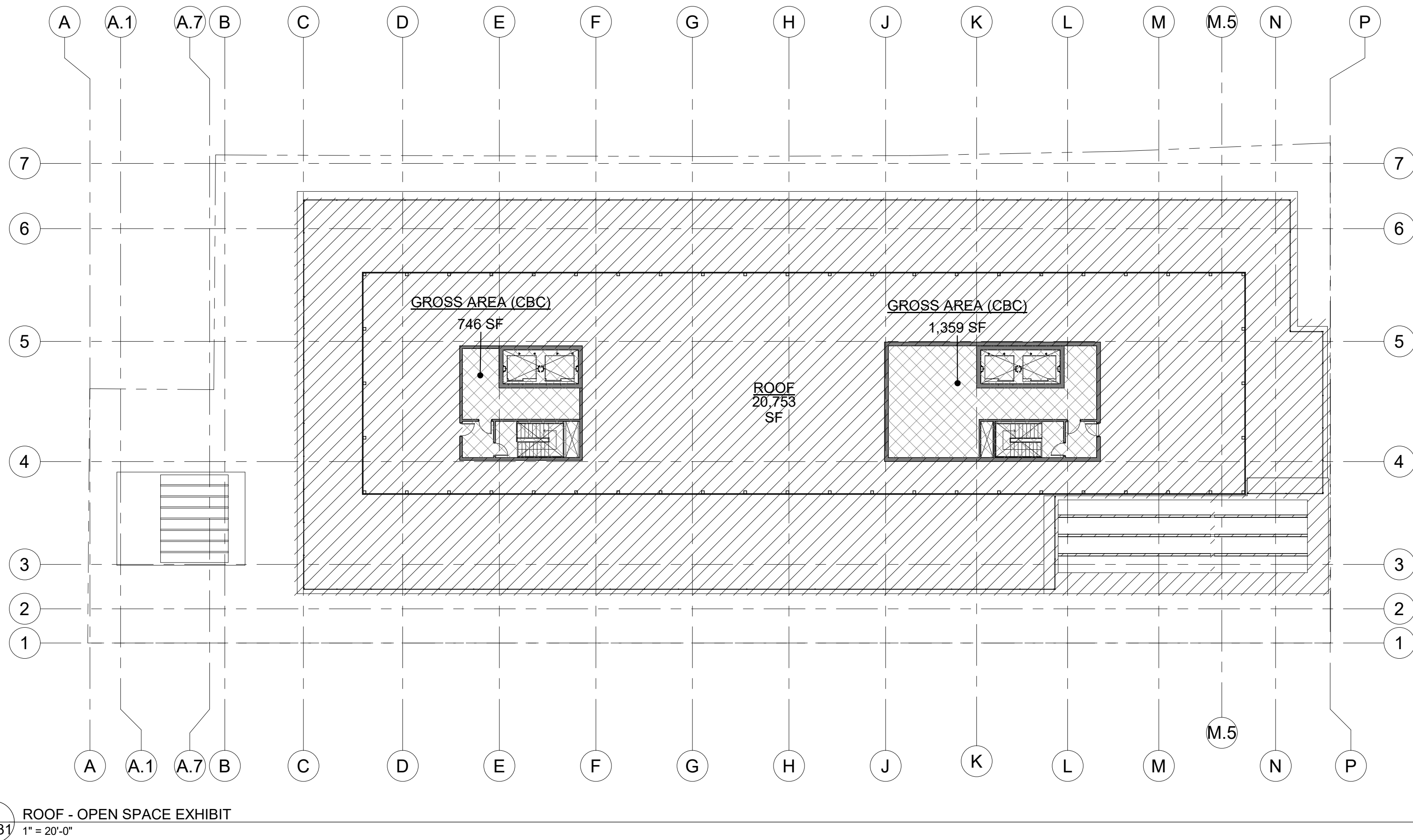
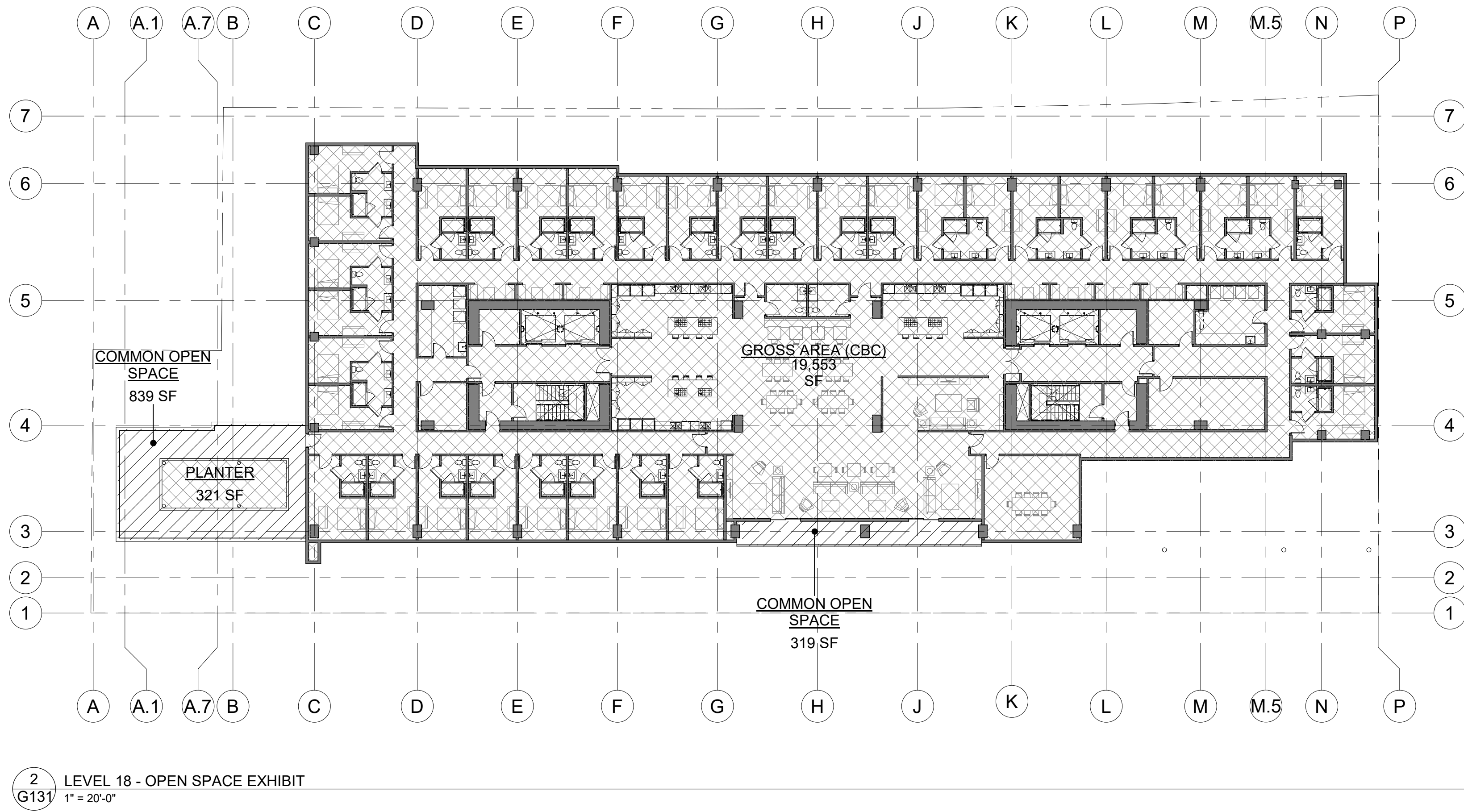
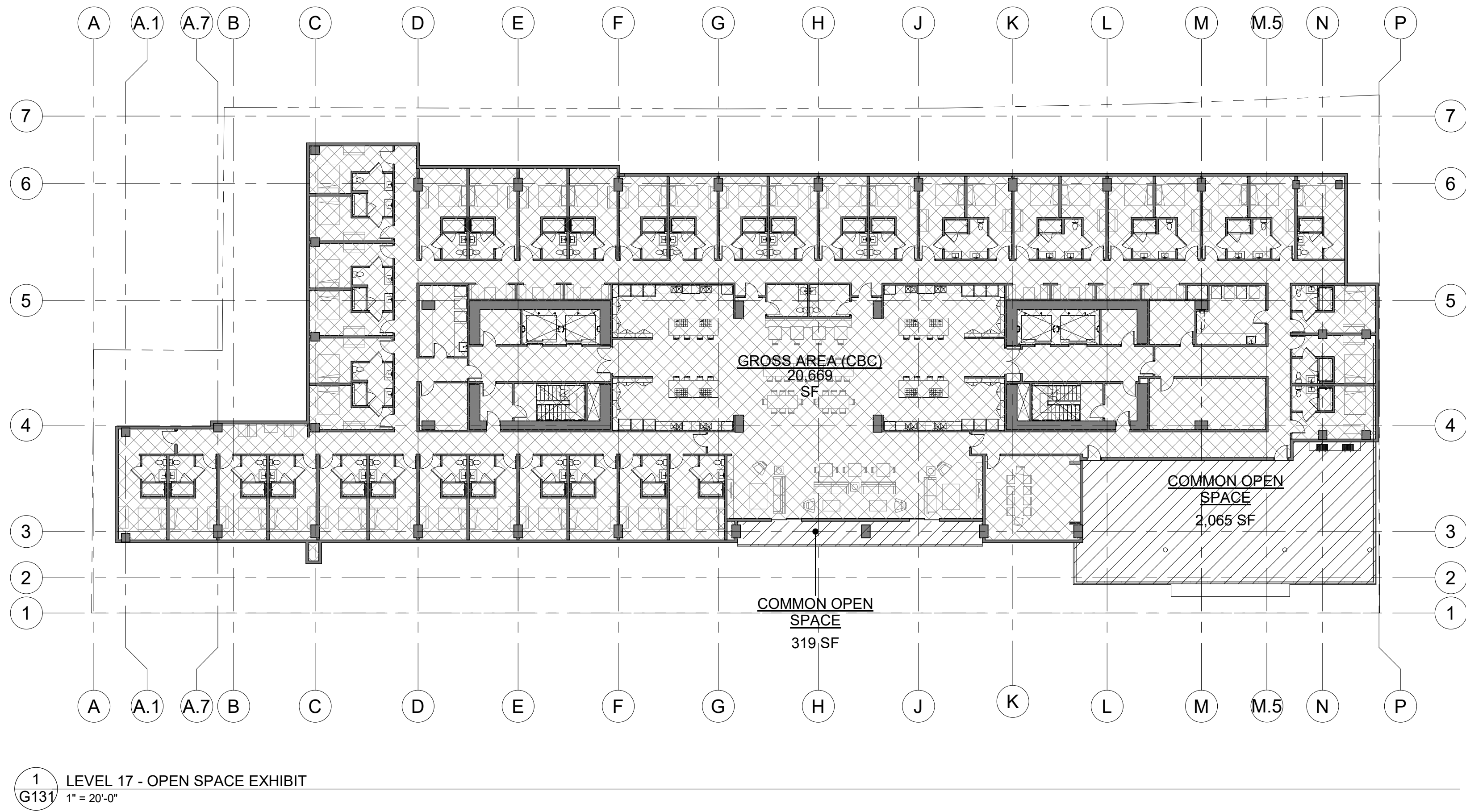
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**OPEN SPACE EXHIBIT**

SHEET NO.:  
**G131**

SPECIAL USE PERMIT AMENDMENT





**BASSETT @  
NORTH SAN  
PEDRO**

OWNER:  
**199 BASSETT, LLC**

ADDRESS:  
**199 BASSETT ST  
SAN JOSE, CA 95110**

PERMIT #:  
**SP17-023, SPA18-\_\_**

PROJECT NO.: 16213  
DRAWN: Author  
DATE: 11-30-2018  
SPECIAL USE PERMIT AMENDMENT  
REVISION: DESCRIPTION:

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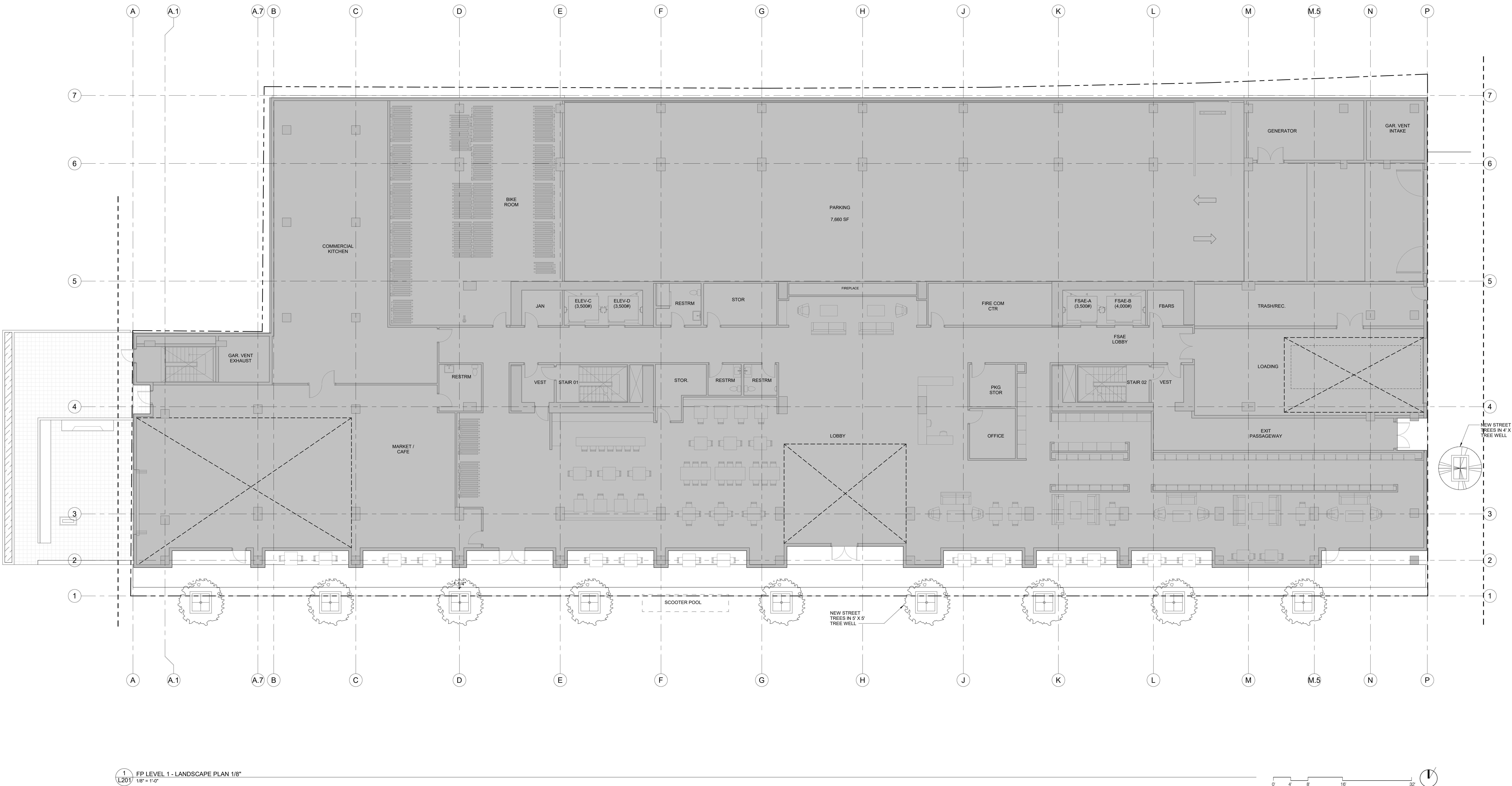
SHEET TITLE:  
**LANDSCAPE PLAN LEVEL 01**

SHEET NO.:

**L201**

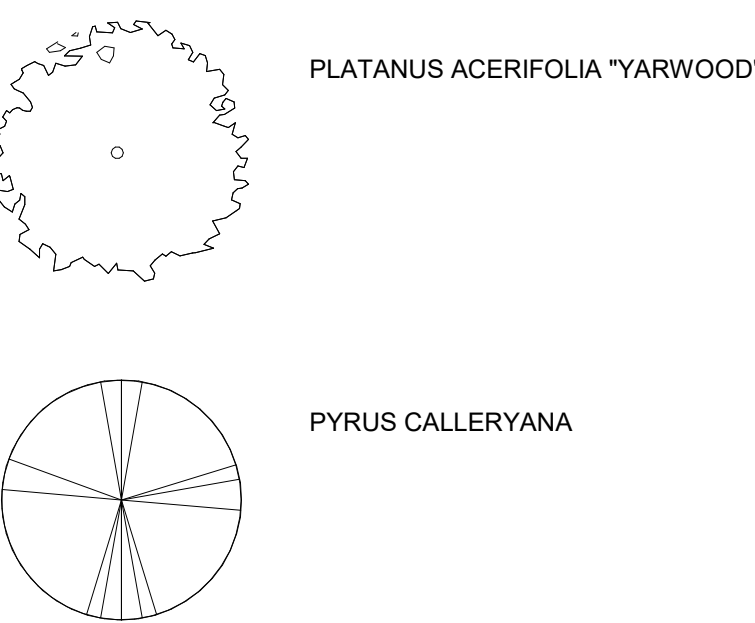
**SPECIAL USE PERMIT AMENDMENT**

**FOR PLAN REVIEW ONLY**

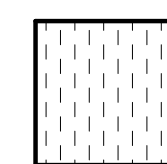
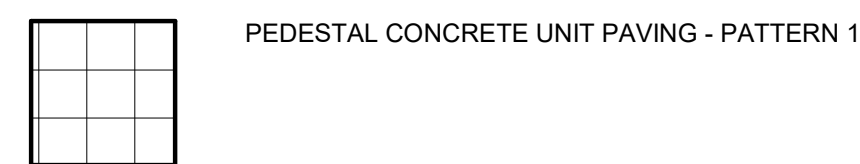


**STREET TREE LEGEND**

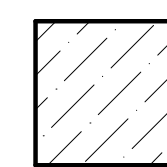
NOTE: STREET TREES TO BE PLANTED PER SAN JOSE  
DOWNTOWN STREETScape MASTER PLAN



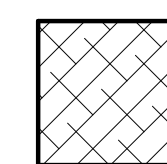
**LANDSCAPING ELEMENTS**



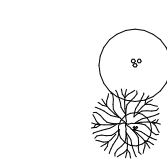
- PLANT AREA - TYPE 1
- MIX OF 1-3 GAL MIX OF EVERGREEN AND DECIDUOUS SHRUBS
- PLANT SPECIES TO BE NATIVE TO BAY AREA
- 18"-24" DEPTH LIGHTWEIGHT MANUFACTURED SOIL
- FULLY AUTOMATED DRIP IRRIGATION



- PLANT AREA - TYPE 2
- MIX OF 1-3 GAL ORNAMENTAL GRASSES
- PLANT SPECIES TO BE NATIVE TO BAY AREA
- 18"-24" DEPTH LIGHTWEIGHT MANUFACTURED SOIL
- FULLY AUTOMATED DRIP IRRIGATION



- FLOW THROUGH PLANTERS
- PLANTING SPECIES TO BE SELECTED PER 2016 C3 STORMWATER HANDBOOK AS NOTED IN TABLE D-1 AS ACCEPTABLE FOR FLOW-THROUGH PLANTERS
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  - CALIFORNIA GRAY RUSH: JUNCUS PATENS 'ELK BLUE'
  - BEACH STRAWBERRY: FRAGARIA CHILOENSIS
  - DOUGLAS IRIS: IRIS DOUGLASIANA
  - ISLAND ALUM ROOT: HEUCDRA MAXIMA
- SPECIES FOR SOUTH / EAST FACING PLANTERS:
  - COFFEEBERRY: RHAMNUS CALIFORNICA 'LITTLE SUR'
  - CALIFORNIA GRAY RUSH: JUNCUS PATENS 'ELK BLUE'
  - SANTA BARBARA SEDGE: CAREX BARBARAE
  - BLUE-EYED GRASS: SISYRINCHILUM BELLUM
  - YELLOW FORTNIGHT LILLY: DIETES IRIODOIDES BICOLOR



ACCENT SHRUBS



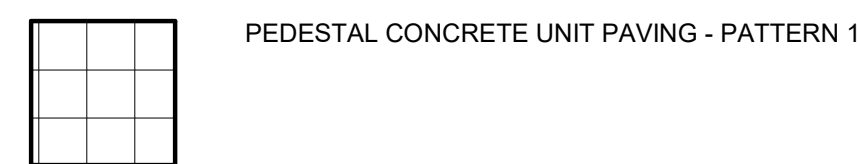


1 FP LEVEL 2 - LANDSCAPE PLAN 1/8"  
L202 1/8" = 1'-0"

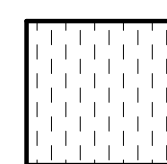
#### EXTERIOR LIGHTING LEGEND

- S1 BEGA 22384 RECESSED WALL LUMINAIRE - OR EQUAL
- S2 BEGA 77 050 RECESSED FLOOR FIXTURE - OR EQUAL
- S3 BEGA 99 727 BOLLARD - OR EQUAL
- S4 LINEAR LED INTEGRATED IN BRISE SOLEIL

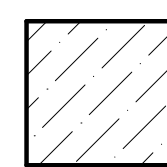
#### LANDSCAPING ELEMENTS



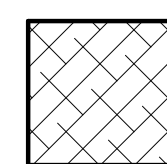
PEDESTAL CONCRETE UNIT PAVING - PATTERN 1



- PLANT AREA - TYPE 1
  - MIX OF 1-3 GAL MIX OF EVERGREEN AND DECIDUOUS SHRUBS
  - PLANT SPECIES TO BE NATIVE TO BAY AREA
  - 18"-24" DEPTH LIGHTWEIGHT MANUFACTURED SOIL
  - FULLY AUTOMATED DRIP IRRIGATION



- PLANT AREA - TYPE 2
  - MIX OF 1-3 GAL ORNAMENTAL GRASSES
  - PLANT SPECIES TO BE NATIVE TO BAY AREA
  - 18"-24" DEPTH LIGHTWEIGHT MANUFACTURED SOIL
  - FULLY AUTOMATED DRIP IRRIGATION



- FLOW THROUGH PLANTERS
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    - 3. BEACH STRAWBERRY: FRAGARIA CHILOENSIS
    - 4. DOUGLAS IRIS: IRIS DOUGLASIANA
    - 5. ISLAND ALUM ROOT: HEUDERA MAYMA
  - SPECIES FOR SOUTH / EAST FACING PLANTERS:
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    - 2. CALIFORNIA GRAY RUSH: JUNCUS PATENS 'ELK BLUE'
    - 3. SANTA BARBARA SEDGE: CAREX BARBARAE
    - 4. BLUE-EYED GRASS: SISYRINCHIUM BELLUM
    - 5. YELLOW FORTNIGHT LILLY: DIETES IRIODIDES BICOLOR

ACCENT SHRUBS

CITY OF SAN JOSE PERMITS STAMP

**BASSETT @  
NORTH SAN  
PEDRO**

OWNER:  
**199 BASSETT, LLC**

ADDRESS:  
**199 BASSETT ST  
SAN JOSE, CA 95110**

PERMIT #:  
**SP17-023, SPA18-\_\_**

PROJECT NO.: 16213  
DRAWN: Author  
DATE: 11-30-2018  
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REVISION: DESCRIPTION:

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SHEET TITLE:  
**LANDSCAPE PLAN LEVEL 02**

SHEET NO.:

**L202**

**SPECIAL USE PERMIT AMENDMENT**

**FOR PLAN REVIEW ONLY**





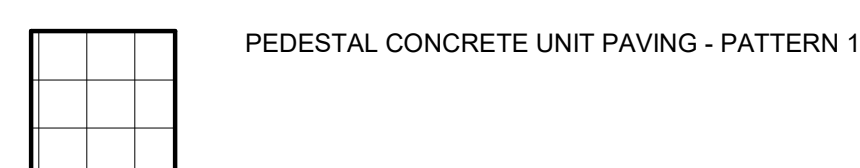
2  
L205  
FP LEVEL 5 - LANDSCAPE PLAN 1/8"  
1/8" = 1'-0"

0 4 8 16 32  
1

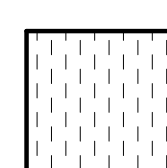
EXTERIOR LIGHTING LEGEND

- S1 BEGA 22384 RECESSED WALL LUMINAIRE - OR EQUAL
- S2 BEGA 77 050 RECESSED FLOOR FIXTURE - OR EQUAL
- S3 BEGA 99 727 BOLLARD - OR EQUAL
- S4 LINEAR LED INTEGRATED IN BRISE SOLEIL

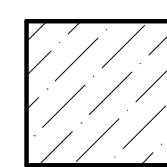
LANDSCAPING ELEMENTS



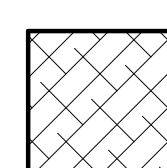
PEDESTAL CONCRETE UNIT PAVING - PATTERN 1



- PLANT AREA - TYPE 1
- MIX OF 1-3 GAL MIX OF EVERGREEN AND DECIDUOUS SHRUBS
  - PLANT SPECIES TO BE NATIVE TO BAY AREA
  - 18"-24" DEPTH LIGHTWEIGHT MANUFACTURED SOIL
  - FULLY AUTOMATED DRIP IRRIGATION



- PLANT AREA - TYPE 2
- MIX OF 1-3 GAL ORNAMENTAL GRASSES
  - PLANT SPECIES TO BE NATIVE TO BAY AREA
  - 18"-24" DEPTH LIGHTWEIGHT MANUFACTURED SOIL
  - FULLY AUTOMATED DRIP IRRIGATION



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    - BEACH STRAWBERRY: FRAGARIA CHILOENSIS
    - DOUGLAS IRIS: IRIS DOUGLASSIANA
    - ISLAND ALUM ROOT: HEUCERA MAIMA
  - SPECIES FOR SOUTH / EAST FACING PLANTERS:
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    - SANTA BARBARA SEDGE: CAREX BARBARAE
    - BLUE-EYED GRASS: SISYRINCHIUM BELLUM
    - YELLOW FORTNIGHT LILLY: DIETES IRIODIDES BICOLOR

ACCENT SHRUBS

CITY OF SAN JOSE PERC STAMP

**BASSETT @  
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PEDRO**

OWNER:  
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ADDRESS:  
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SAN JOSE, CA 95110**

PERMIT #:  
**SP17-023, SPA18-\_\_**

PROJECT NO.: 16213  
DRAWN: Author  
DATE: 11-30-2018  
REVISION: SPECIAL USE PERMIT AMENDMENT

SPECIAL USE PERMIT AMENDMENT

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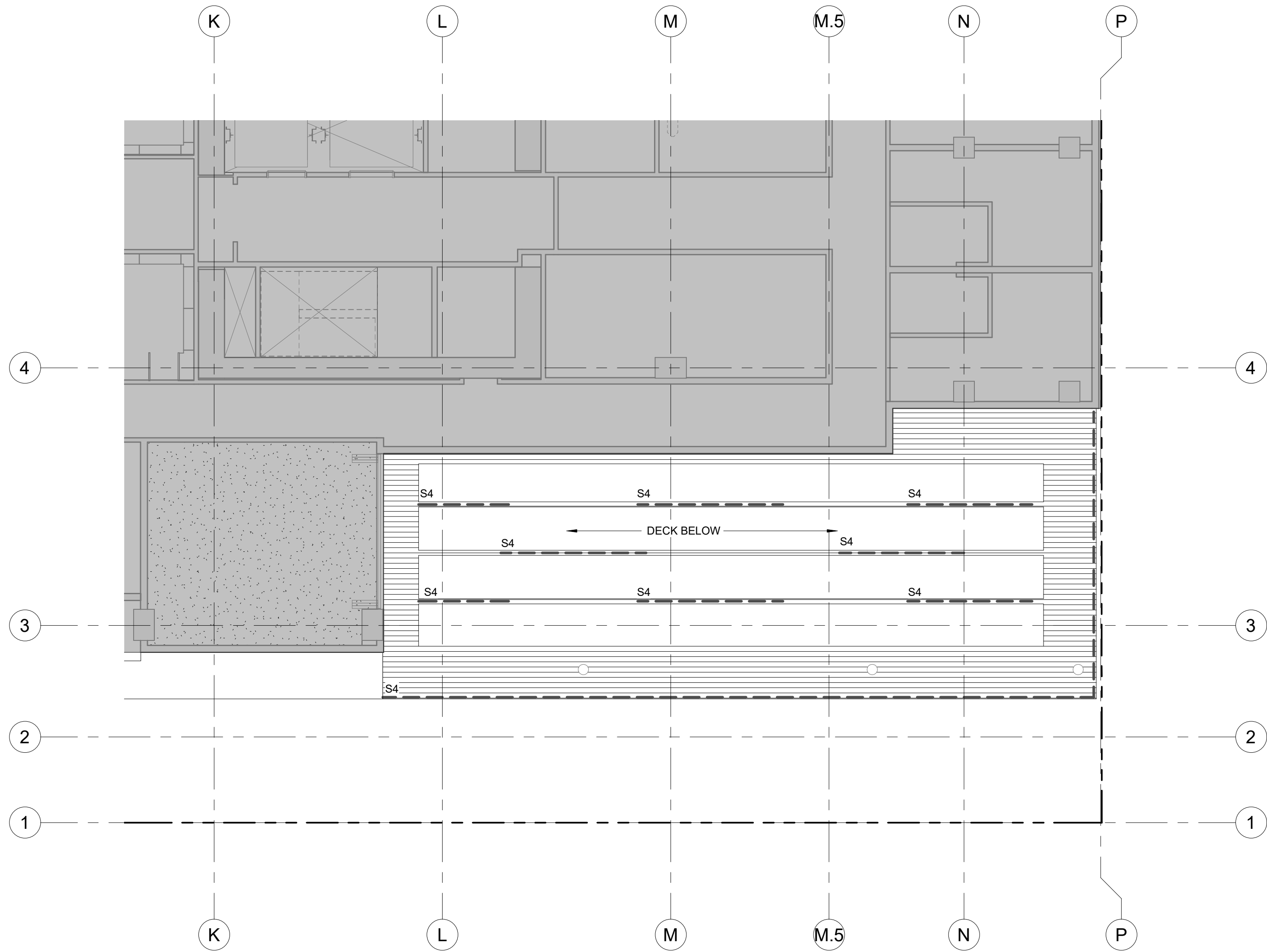
SHEET TITLE:  
**LANDSCAPE PLAN LEVEL 05**

SHEET NO.:

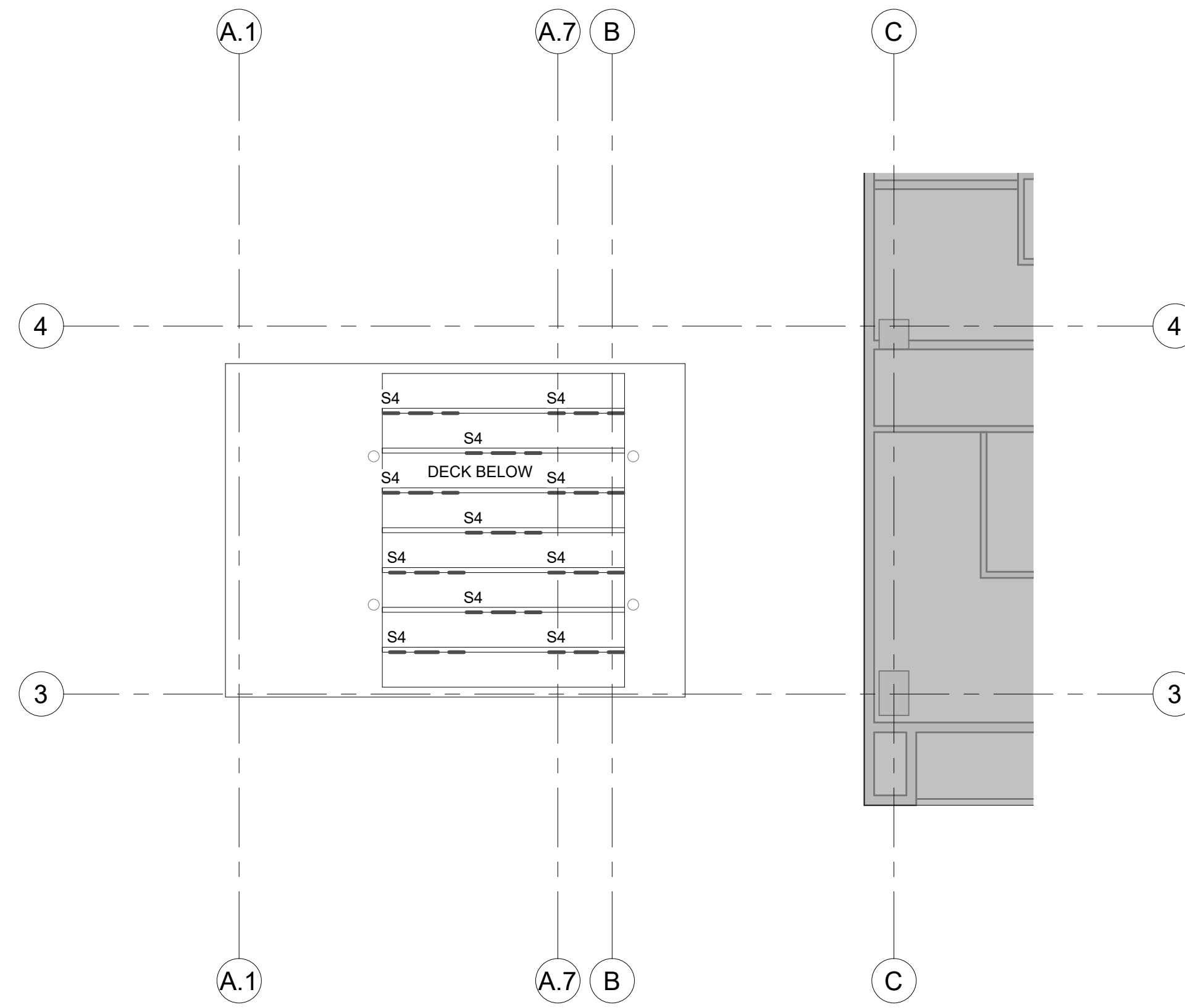
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FOR PLAN REVIEW ONLY

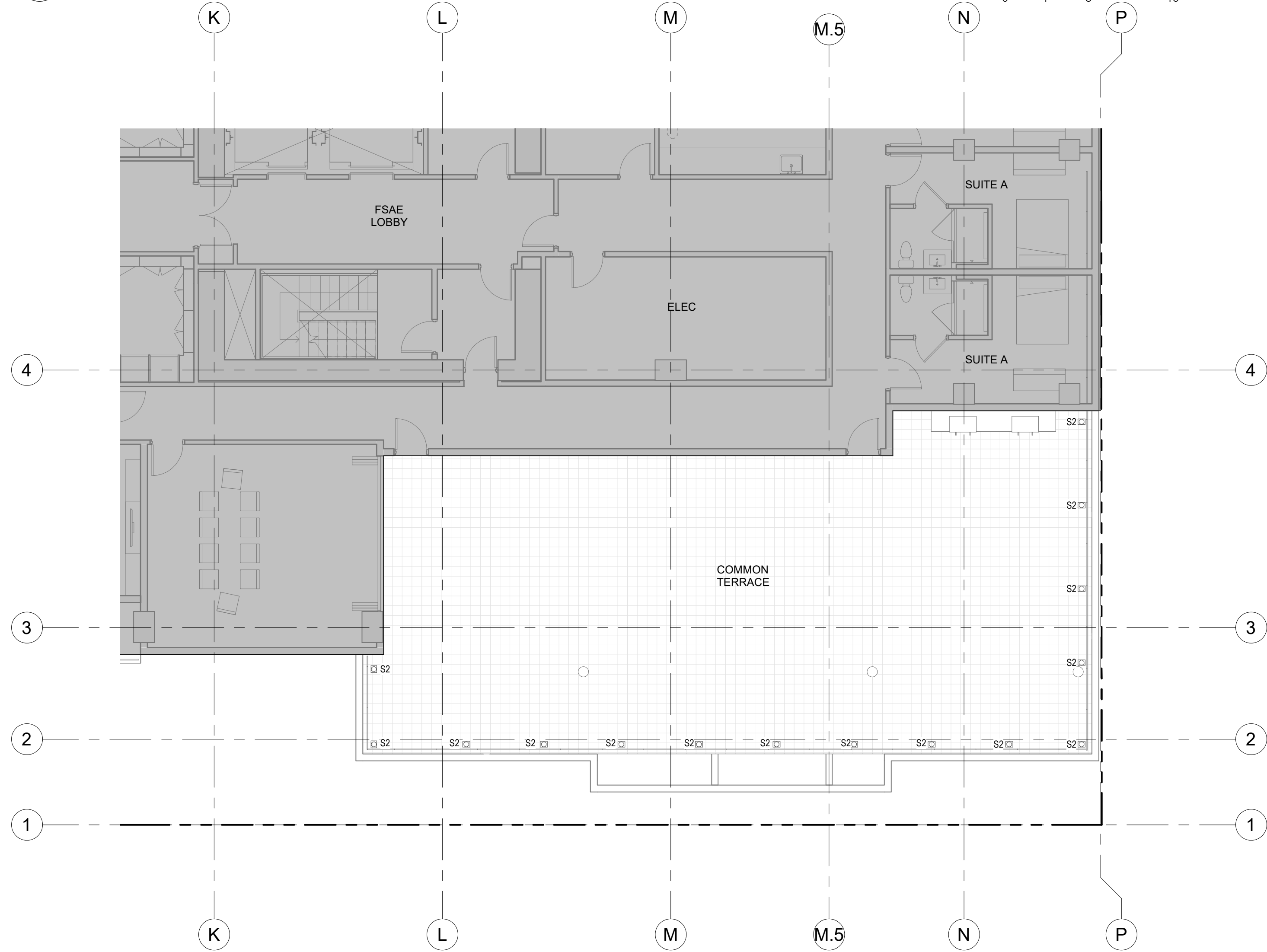




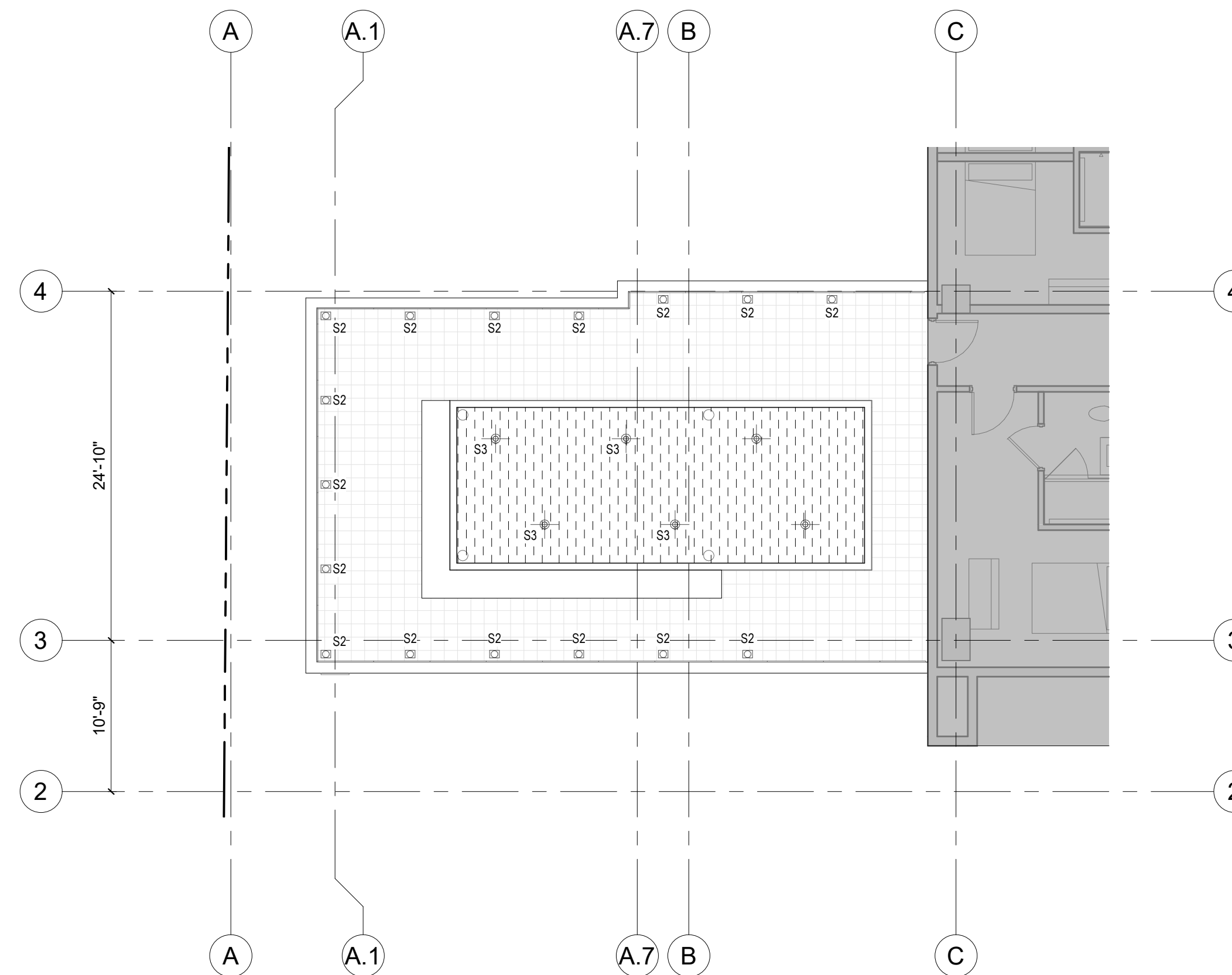
1 REFLECTED CEILING PLAN - LEVEL 17 - LANDSCAPE PLAN - BRISE SOLEIL LIGHTING 1/8"  
L217 1/8" = 1'-0"



2 REFLECTED CEILING PLAN - LEVEL 18 - LANDSCAPE PLAN - BRISE SOLEIL LIGHTING 1/8"  
L217 1/8" = 1'-0"



3 FP LEVEL 17 - LANDSCAPE PLAN 1/8"  
L217 1/8" = 1'-0"

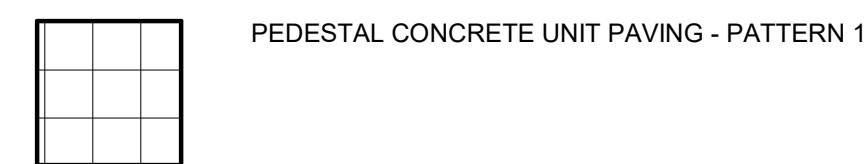


4 FP LEVEL 18 - LANDSCAPE PLAN 1/8"  
L217 1/8" = 1'-0"

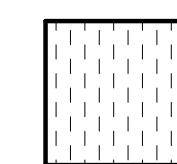
#### EXTERIOR LIGHTING LEGEND

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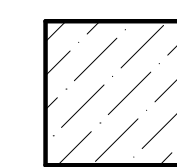
#### LANDSCAPING ELEMENTS



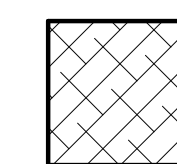
PEDESTAL CONCRETE UNIT PAVING - PATTERN 1



- PLANT AREA - TYPE 1
- MIX OF 1-3 GAL MIX OF EVERGREEN AND DECIDUOUS SHRUBS
- PLANT SPECIES TO BE NATIVE TO BAY AREA
- 18"-24" DEPTH LIGHTWEIGHT MANUFACTURED SOIL
- FULLY AUTOMATED DRIP IRRIGATION

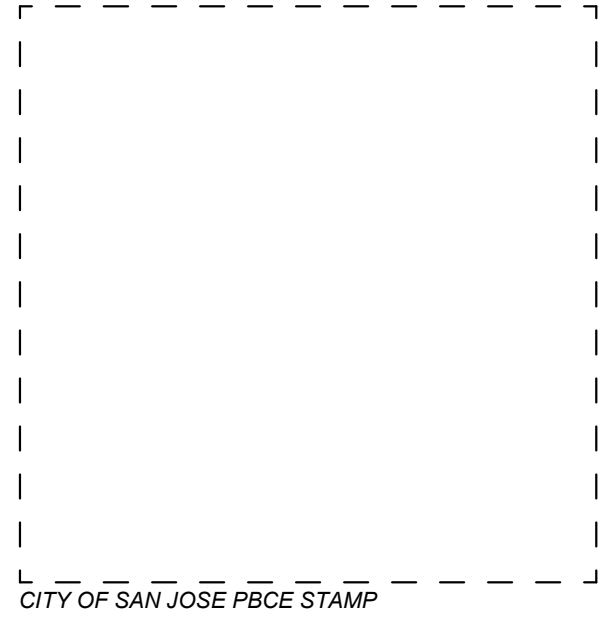


- PLANT AREA - TYPE 2
- MIX OF 1-3 GAL ORNAMENTAL GRASSES
- PLANT SPECIES TO BE NATIVE TO BAY AREA
- 18"-24" DEPTH LIGHTWEIGHT MANUFACTURED SOIL
- FULLY AUTOMATED DRIP IRRIGATION



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  - SANTA BARBARA SEDGE: CAREX BARBARAE
  - BLUE-EYED GRASS: SISYRINCHIUM BELLUM
  - YELLOW FORTNIGHT LILLY: DIETES IRIODIDES BICOLOR

ACCENT SHRUBS



## BASSETT @ NORTH SAN PEDRO

OWNER:  
199 BASSETT, LLC

ADDRESS:  
199 BASSETT ST  
SAN JOSE, CA 95110

PERMIT #:  
SP17-023, SPA18-\_\_\_

PROJECT NO.: 16213  
DRAWN: Author  
DATE: 11-30-2018  
SPECIAL USE PERMIT AMENDMENT  
REVISION: DESCRIPTION:

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SHEET TITLE:  
LANDSCAPE PLAN LEVEL 17-18

SHEET NO.:

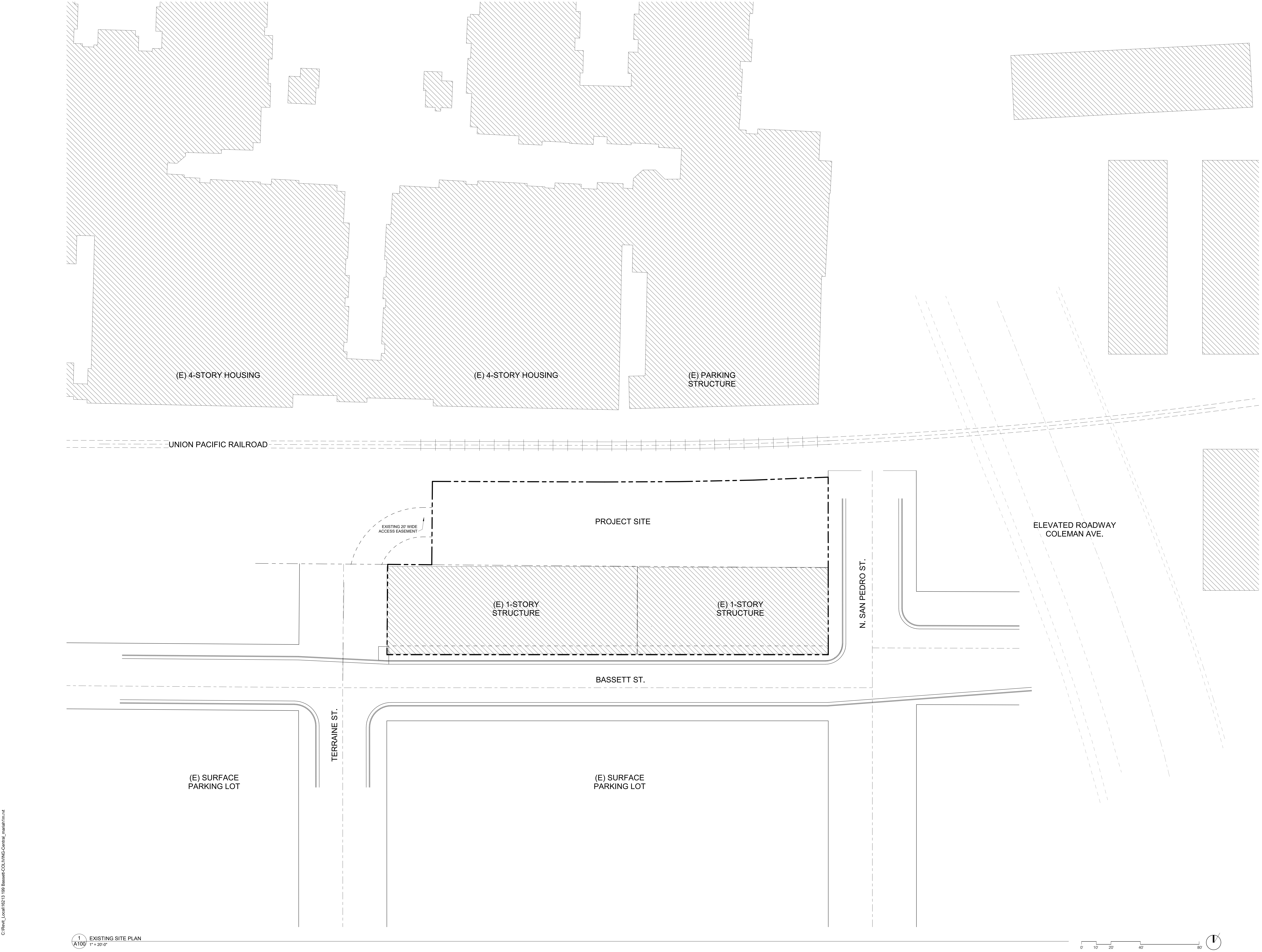
L217

SPECIAL USE PERMIT AMENDMENT

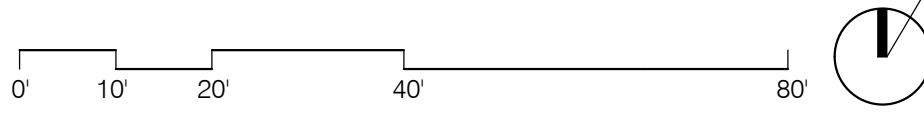
FOR PLAN REVIEW ONLY



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1  
A100  
EXISTING SITE PLAN  
1" = 20'-0"



CITY OF SAN JOSE PERMITS STAMP

**BASSETT @  
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ADDRESS:  
**199 BASSETT ST  
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PERMIT #:  
**SP17-023, SPA18-\_\_**

PROJECT NO.:	16213
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DATE:	11-30-2018
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SHEET TITLE:  
**EXISTING SITE PLAN**

SHEET NO.:  
**A100**

**SPECIAL USE PERMIT AMENDMENT**



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SHEET TITLE:  
**SITE PLAN**

SHEET NO.:

**A101**

**SPECIAL USE PERMIT AMENDMENT**

**SITE PLAN TABLE**

APN	259-23-005, 259-23-006, 259-51-007	
<b>STATEMENTS AND TABLES:</b>		
1. TOTAL ACRES OF SUBJECT PROPERTY	0.77	AC
2. TOTAL NUMBER OF BEDROOMS:	800	
3. TOTAL SQUARE FOOTAGE FOR BUILDINGS:	0.77	AC
4. SITE COVERAGE (FOOTPRINT) OF NET AREA:	100%	
5. TOTAL NUMBER OF EXISTING OFF STREET PARKING:	0	STALLS
PROPOSED:	186	STALLS

0' 10' 20' 40' 60'

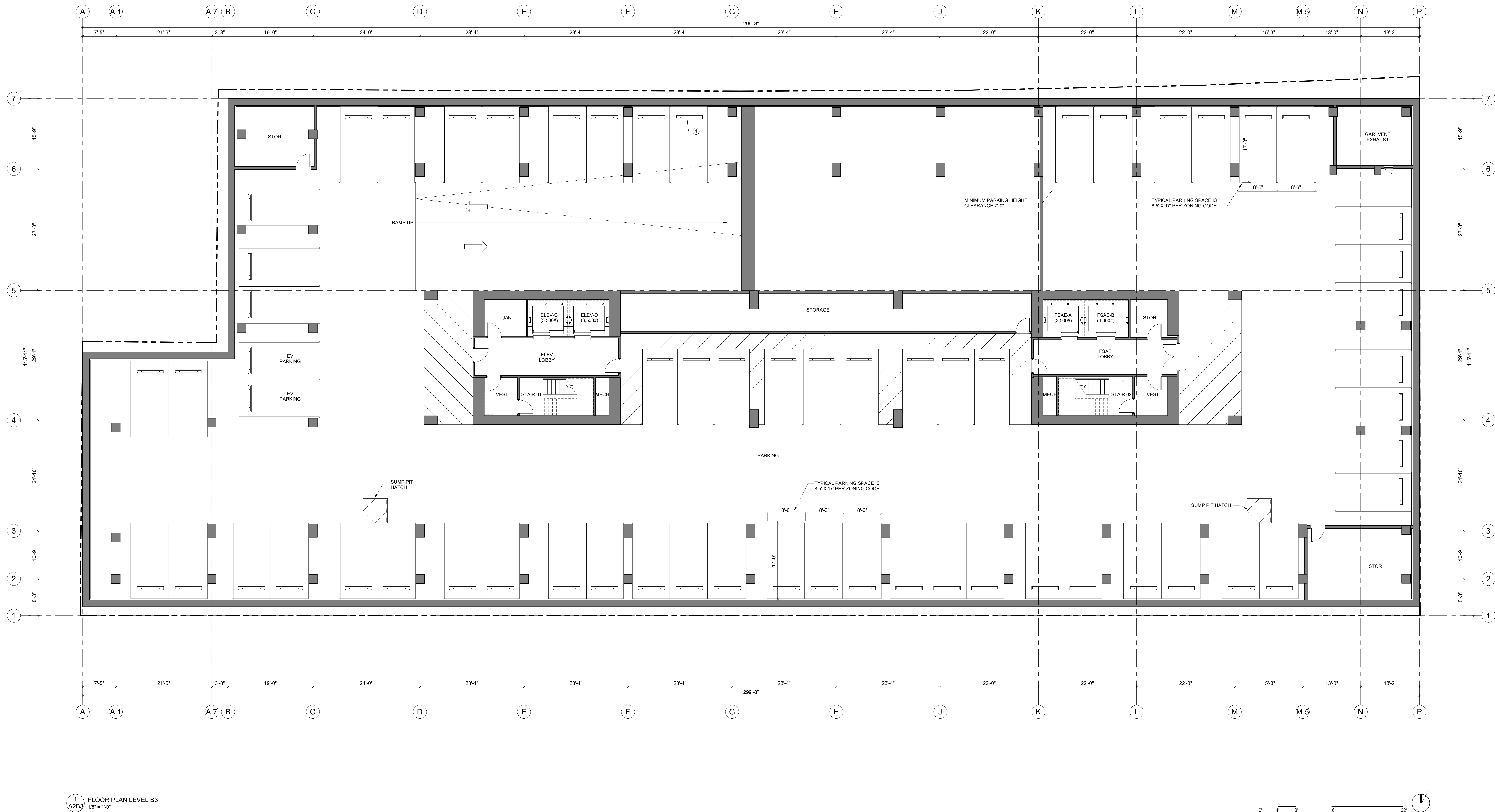
1

1 SITE PLAN  
A101 1" = 20'-0"

C:\Revit\_Local\16213 199 Bassett\CDLVING-Central\_marshal.mxd

11/30/2018 10:26:57 AM





# FLOOR PLAN - KEY NOTES

- 1 VEHICLE WHEEL STOP, TYPICAL AT PARKING SPACE  
2 GLASS PRIVACY SCREEN

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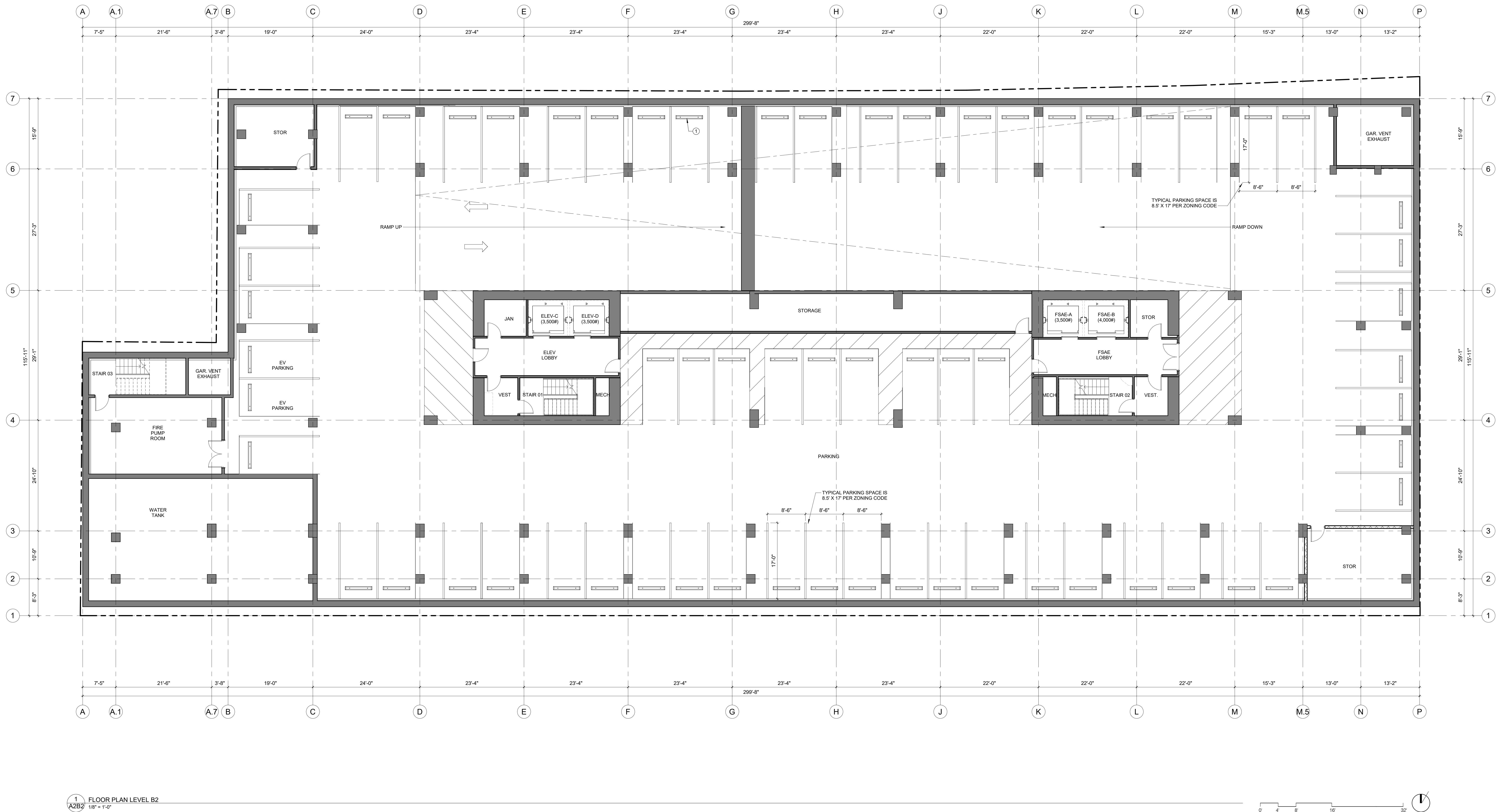
SHEET TITLE:  
**FLOOR PLAN - LEVEL B3**

SHEET NO.:

**A2B3**

**SPECIAL USE PERMIT AMENDMENT**





# FLOOR PLAN - KEY NOTES

- VEHICLE WHEEL STOP, TYPICAL AT PARKING SPACE
- GLASS PRIVACY SCREEN

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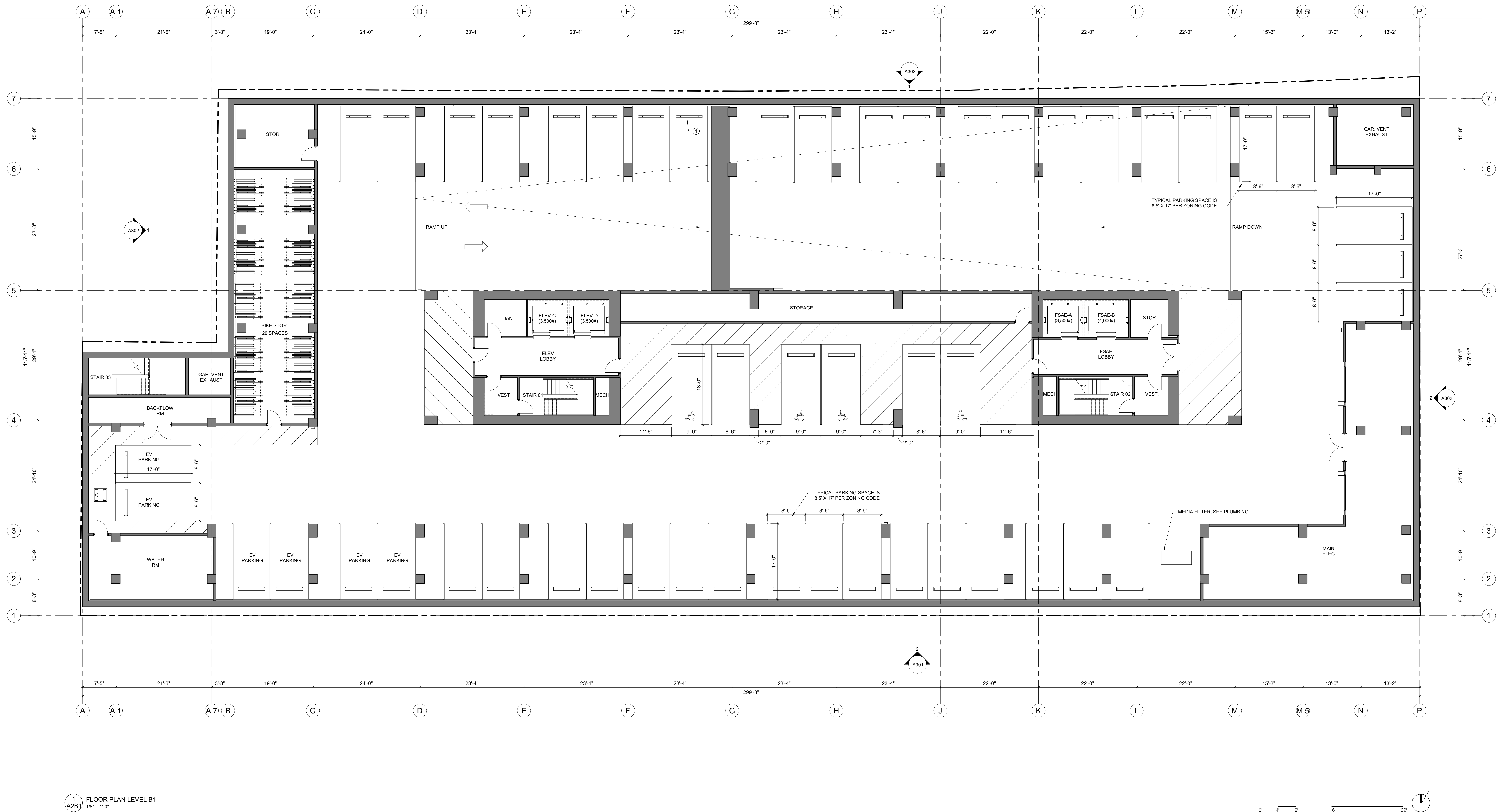
SHEET TITLE:  
**FLOOR PLAN - LEVEL B2**

SHEET NO.:

**A2B2**

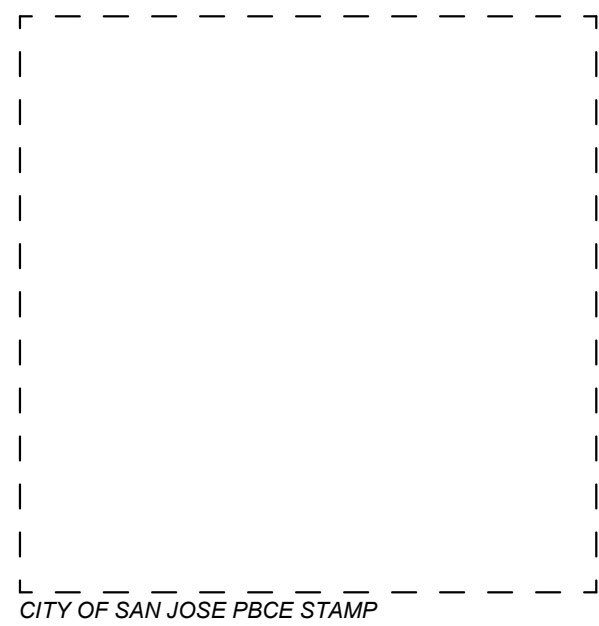
**SPECIAL USE PERMIT AMENDMENT**





# FLOOR PLAN - KEY NOTES

- 1 VEHICLE WHEEL STOP, TYPICAL AT PARKING SPACE  
2 GLASS PRIVACY SCREEN



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**FOR PLAN REVIEW ONLY**

SHEET TITLE:  
**FLOOR PLAN - LEVEL B1**

SHEET NO.:  
**A2B1**

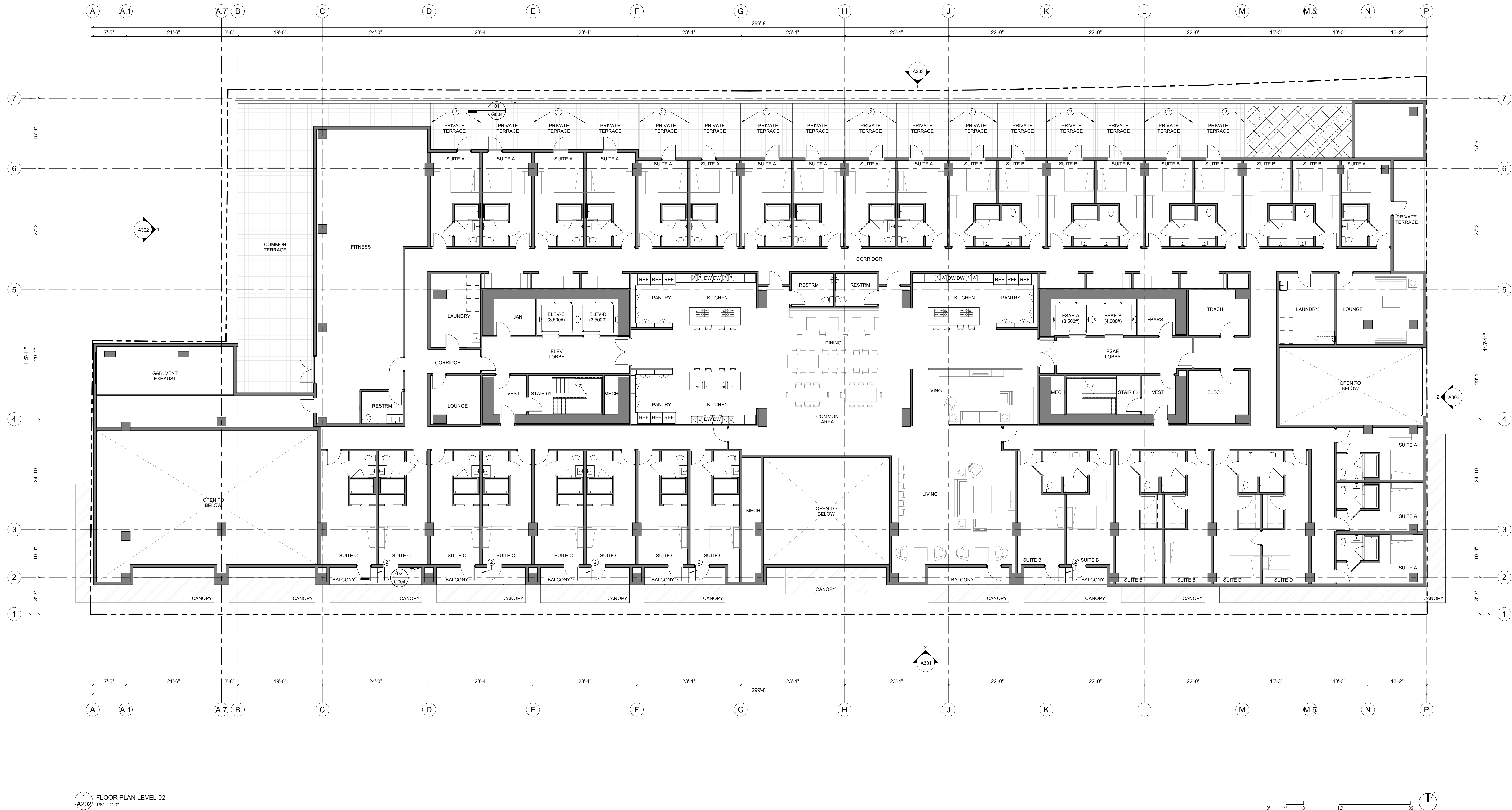
**SPECIAL USE PERMIT AMENDMENT**





- 1 VEHICLE WHEEL STOP, TYPICAL AT PARKING SPACE  
2 GLASS PRIVACY SCREEN





1 FLOOR PLAN LEVEL 02  
A202 1/8" = 1'-0"

# FLOOR PLAN - KEY NOTES

- 1 VEHICLE WHEEL STOP, TYPICAL AT PARKING SPACE  
2 GLASS PRIVACY SCREEN

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ADDRESS:  
**199 BASSETT ST  
SAN JOSE, CA 95110**

PERMIT #:  
**SP17-023, SPA18-\_\_**

PROJECT NO.: 16213  
DRAWN: Author  
DATE: 11-30-2018  
REVISION: SPECIAL USE PERMIT AMENDMENT

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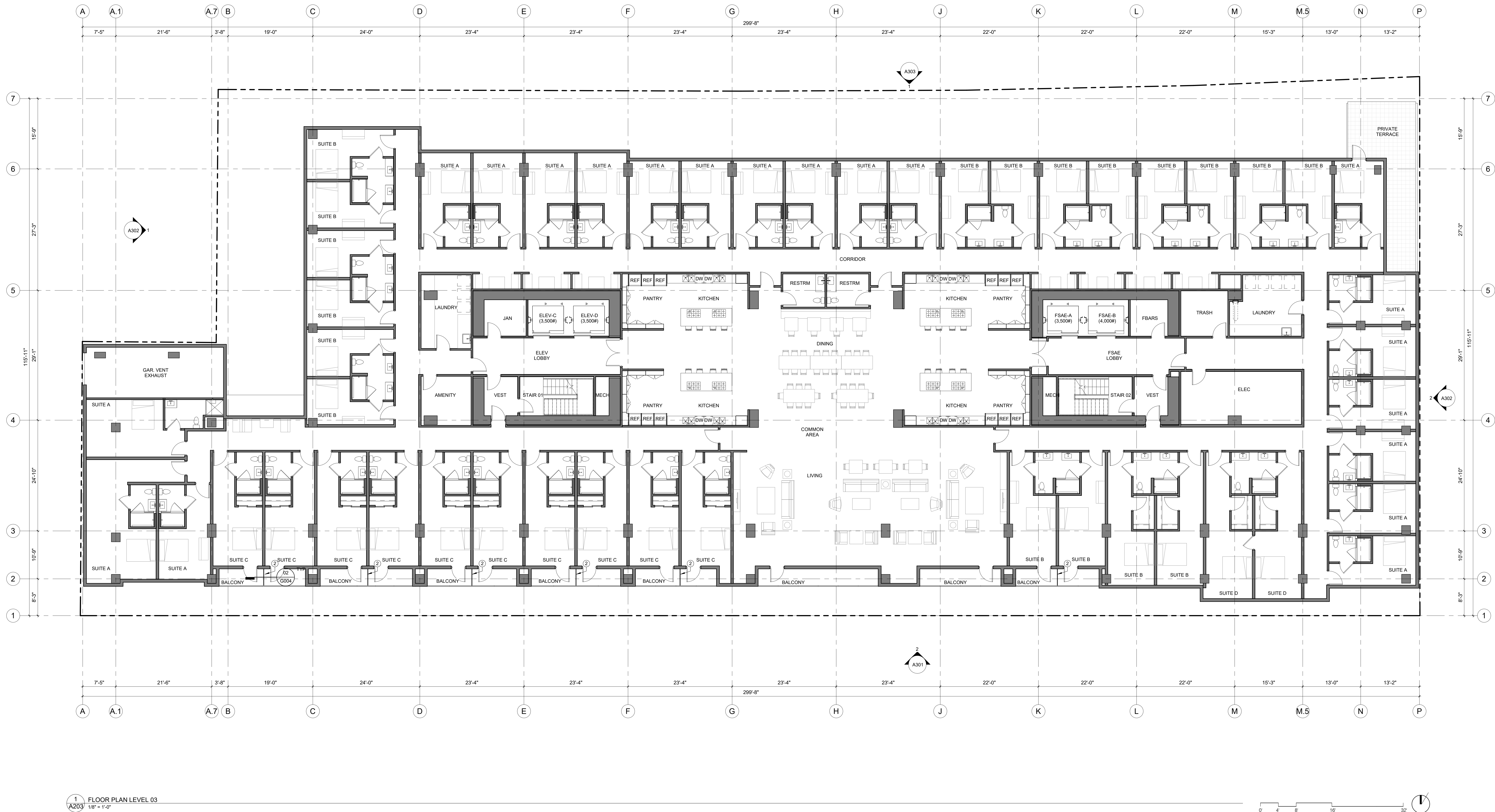
SHEET TITLE:  
**FLOOR PLAN - LEVEL 02**

SHEET NO.:

**A202**

**SPECIAL USE PERMIT AMENDMENT**





1 FLOOR PLAN LEVEL 03  
A203 1/8" = 1'-0"

# FLOOR PLAN - KEY NOTES

- 1 VEHICLE WHEEL STOP, TYPICAL AT PARKING SPACE  
2 GLASS PRIVACY SCREEN

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PEDRO**

OWNER:  
**199 BASSETT, LLC**

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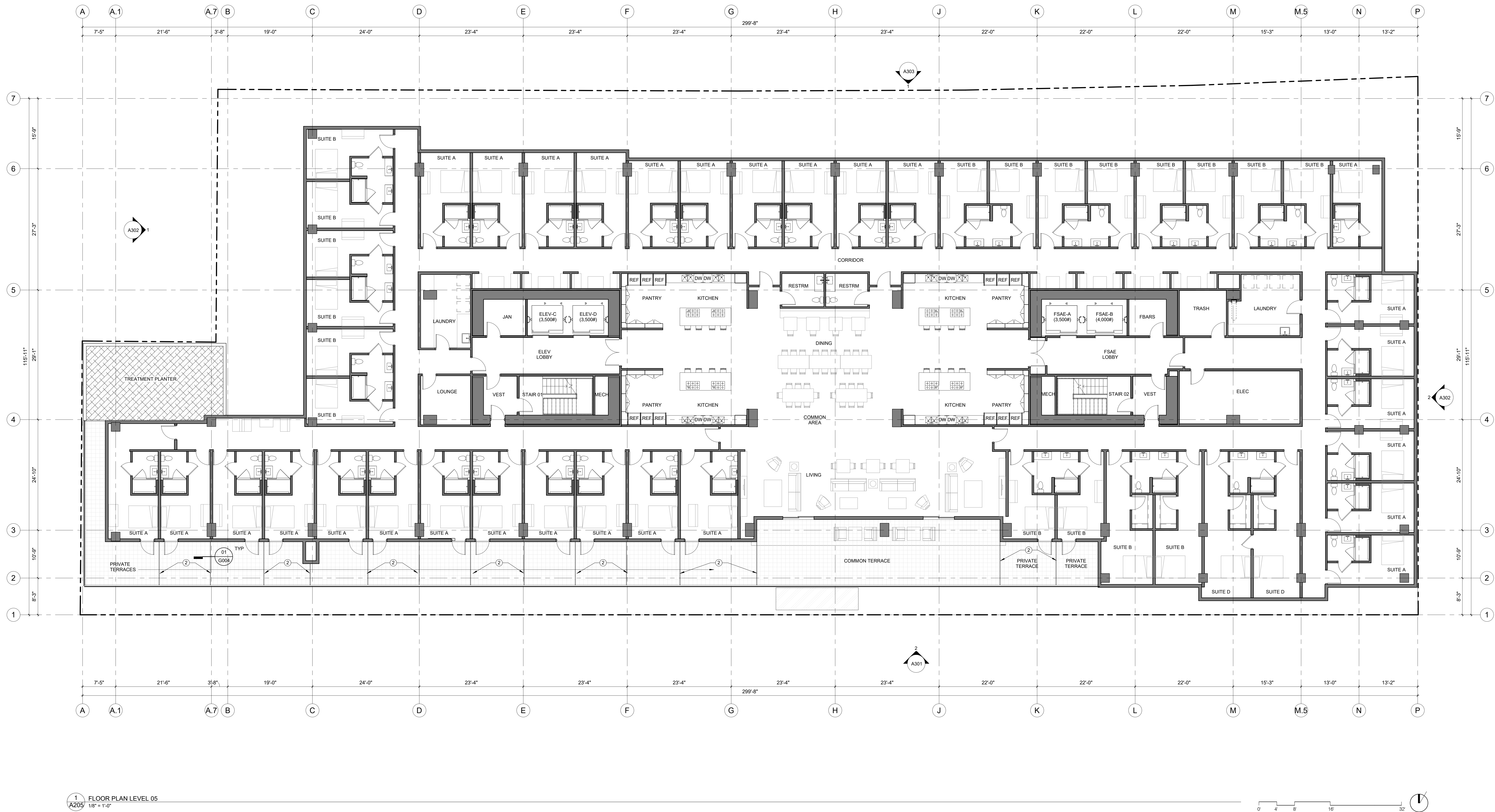
SHEET TITLE:  
**FLOOR PLAN - LEVEL 03-04**

SHEET NO.:

**A203**

**SPECIAL USE PERMIT AMENDMENT**





# FLOOR PLAN - KEY NOTES

- 1 VEHICLE WHEEL STOP, TYPICAL AT PARKING SPACE  
2 GLASS PRIVACY SCREEN

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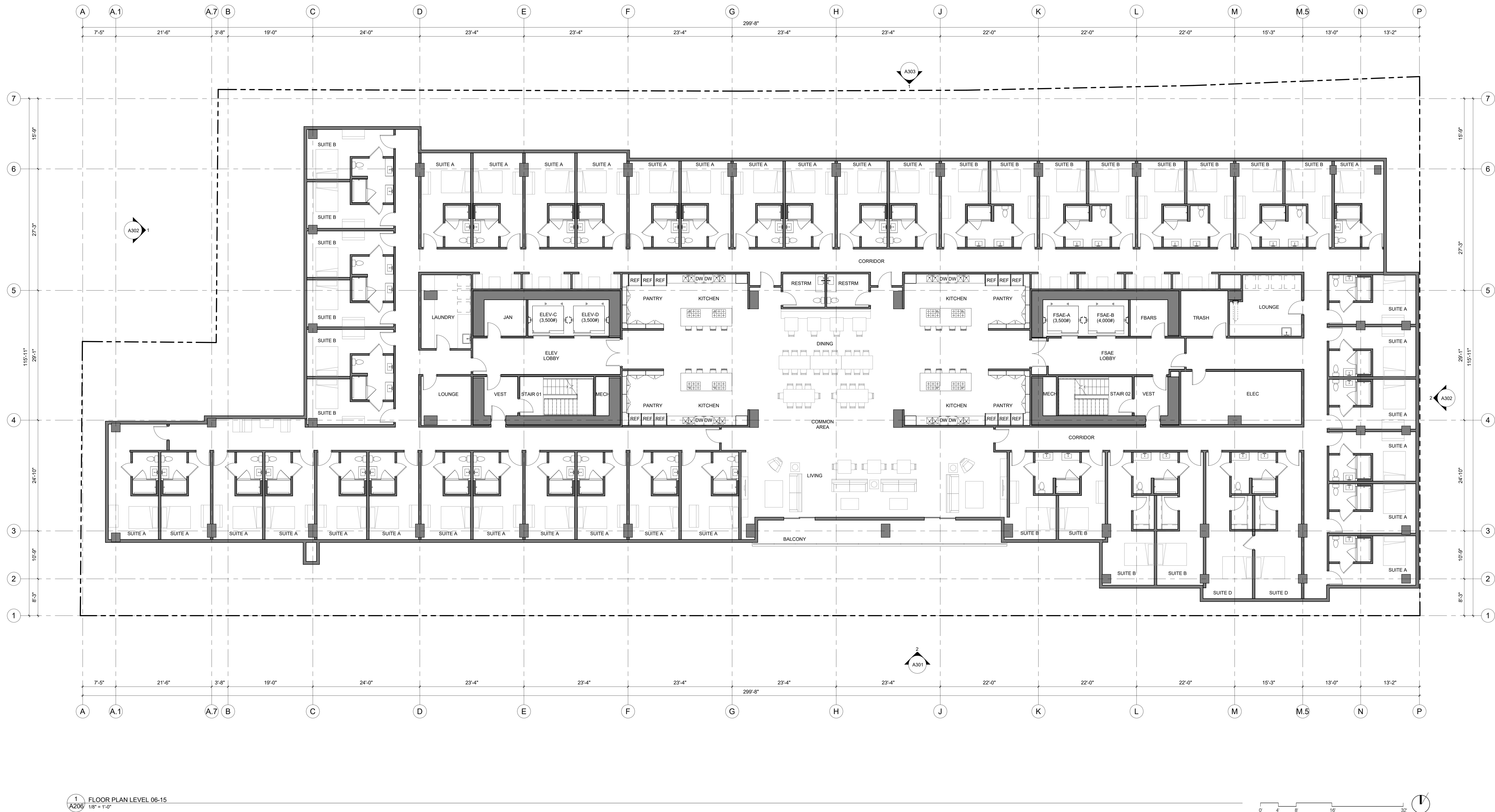
SHEET TITLE:  
**FLOOR PLAN - LEVEL 05**

SHEET NO.:

**A205**

**SPECIAL USE PERMIT AMENDMENT**





1 FLOOR PLAN LEVEL 06-15  
A206 1/8" = 1'-0"

# FLOOR PLAN - KEY NOTES

- 1 VEHICLE WHEEL STOP, TYPICAL AT PARKING SPACE
- 2 GLASS PRIVACY SCREEN

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PERMIT #:  
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DRAWN: Author  
DATE: 11-30-2018  
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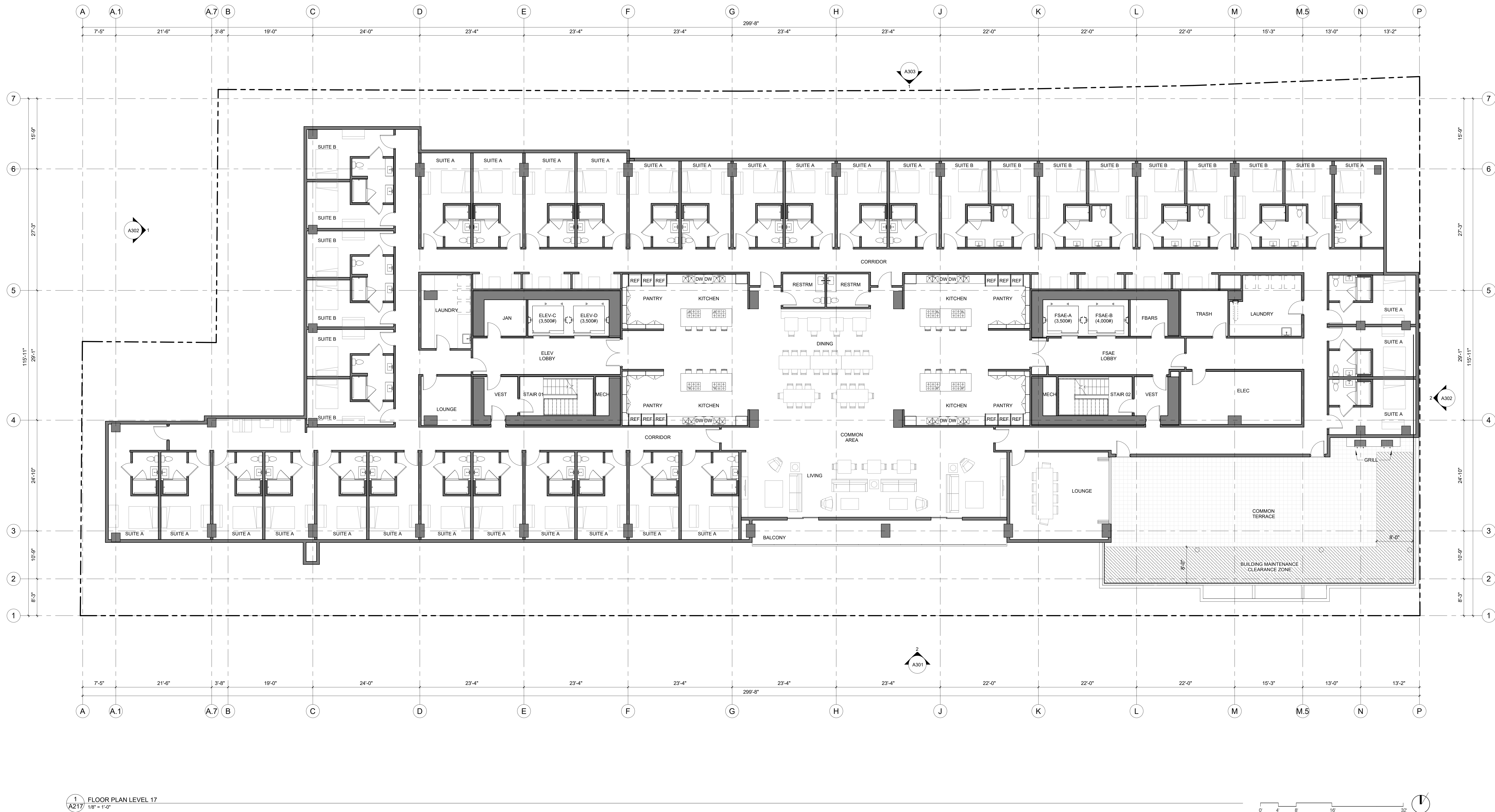
SHEET TITLE:  
**FLOOR PLAN - LEVEL 06-16**

SHEET NO.:

**A206**

**SPECIAL USE PERMIT AMENDMENT**





1 FLOOR PLAN LEVEL 17  
A217 1/8" = 1'-0"

# FLOOR PLAN - KEY NOTES

- VEHICLE WHEEL STOP, TYPICAL AT PARKING SPACE
- GLASS PRIVACY SCREEN

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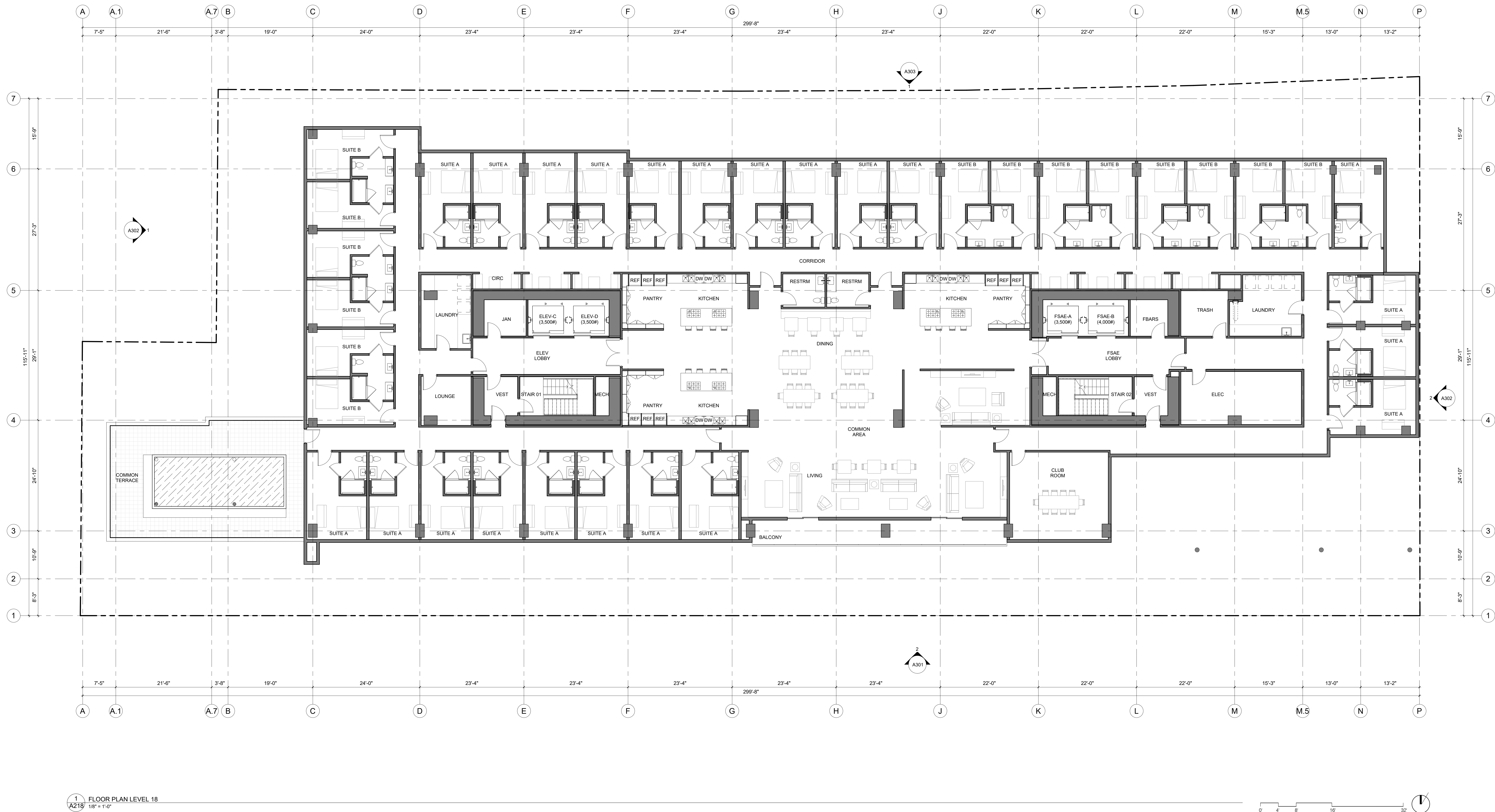
SHEET TITLE:  
**FLOOR PLAN - LEVEL 17**

SHEET NO.:

**A217**

**SPECIAL USE PERMIT AMENDMENT**





1 FLOOR PLAN LEVEL 18  
A218 1/8" = 1'-0"

# FLOOR PLAN - KEY NOTES

- 1 VEHICLE WHEEL STOP, TYPICAL AT PARKING SPACE
- 2 GLASS PRIVACY SCREEN

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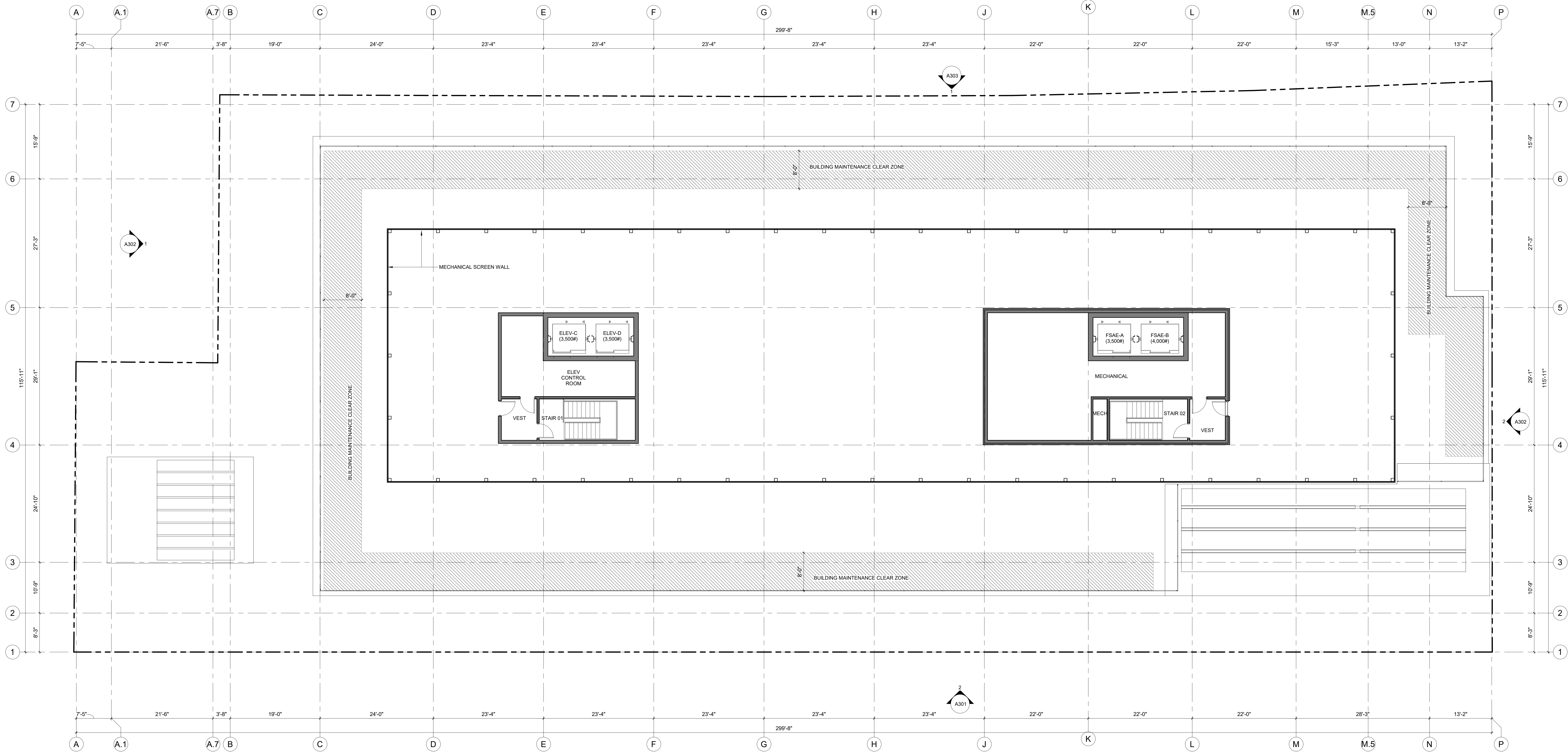
SHEET TITLE:  
**FLOOR PLAN - LEVEL 18**

SHEET NO.:

**A218**

**SPECIAL USE PERMIT AMENDMENT**





1 ROOF PLAN  
A219 1/8" = 1'-0"



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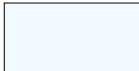



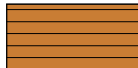

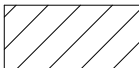
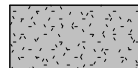
SHEET TITLE:  
**ROOF PLAN**

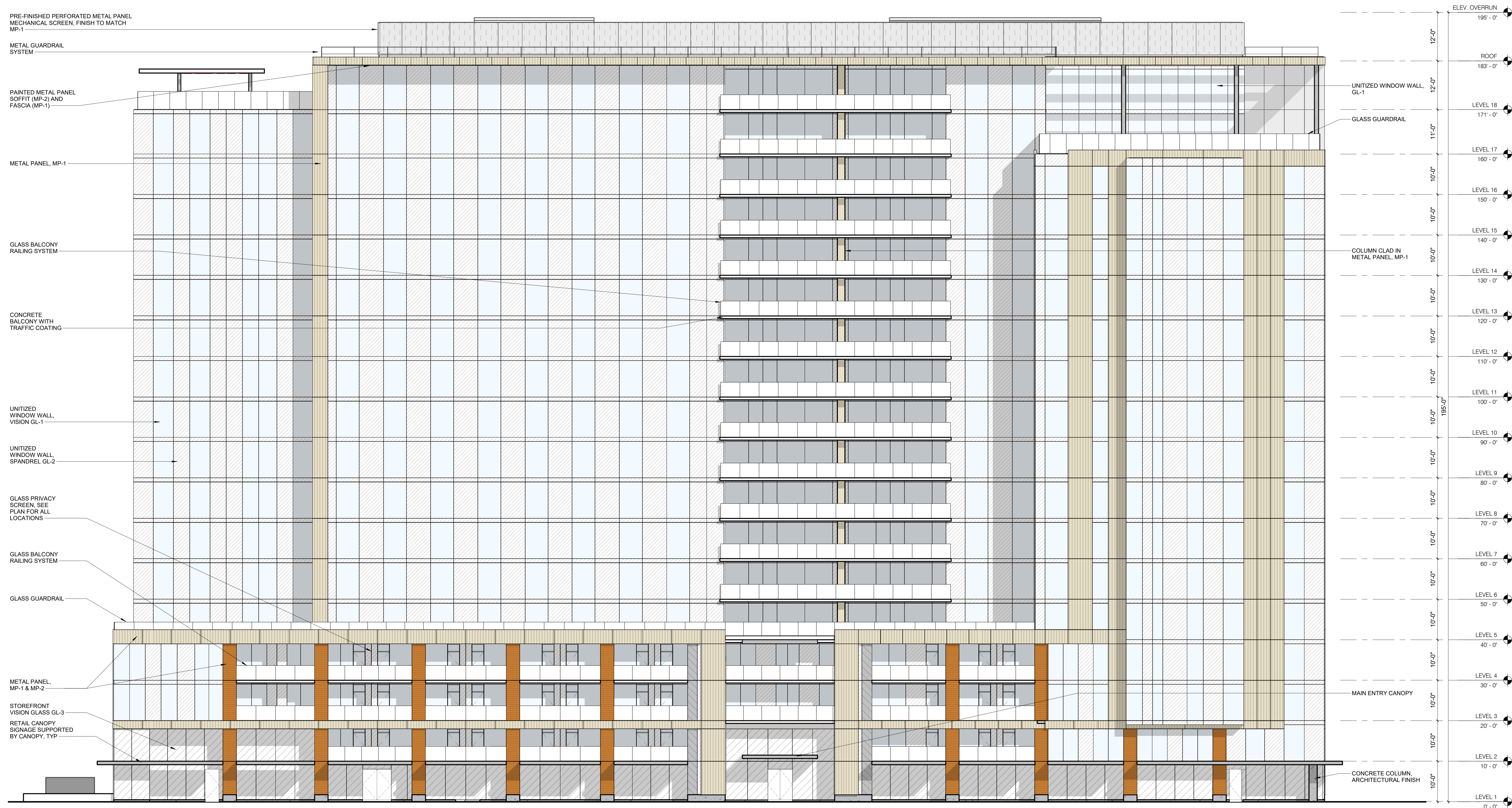
SHEET NO.:  
**A219**

**SPECIAL USE PERMIT AMENDMENT**



MATERIAL LEGEND

	CURTAIN WALL VISION GLASS, GL-1		METAL PANEL, MP-1		PERFORATED METAL PANEL, MP-1
	CURTAIN WALL SPANDREL GLASS, GL-2		METAL PANEL, MP-2		METAL PANEL, MP-3
	RETAIL STOREFRONT GLASS, GL-3				EXPOSED CONCRETE, ARCHITECTURAL FINISH



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SHEET TITLE:  
**EXTERIOR ELEVATION - SOUTH**





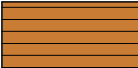


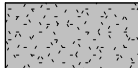
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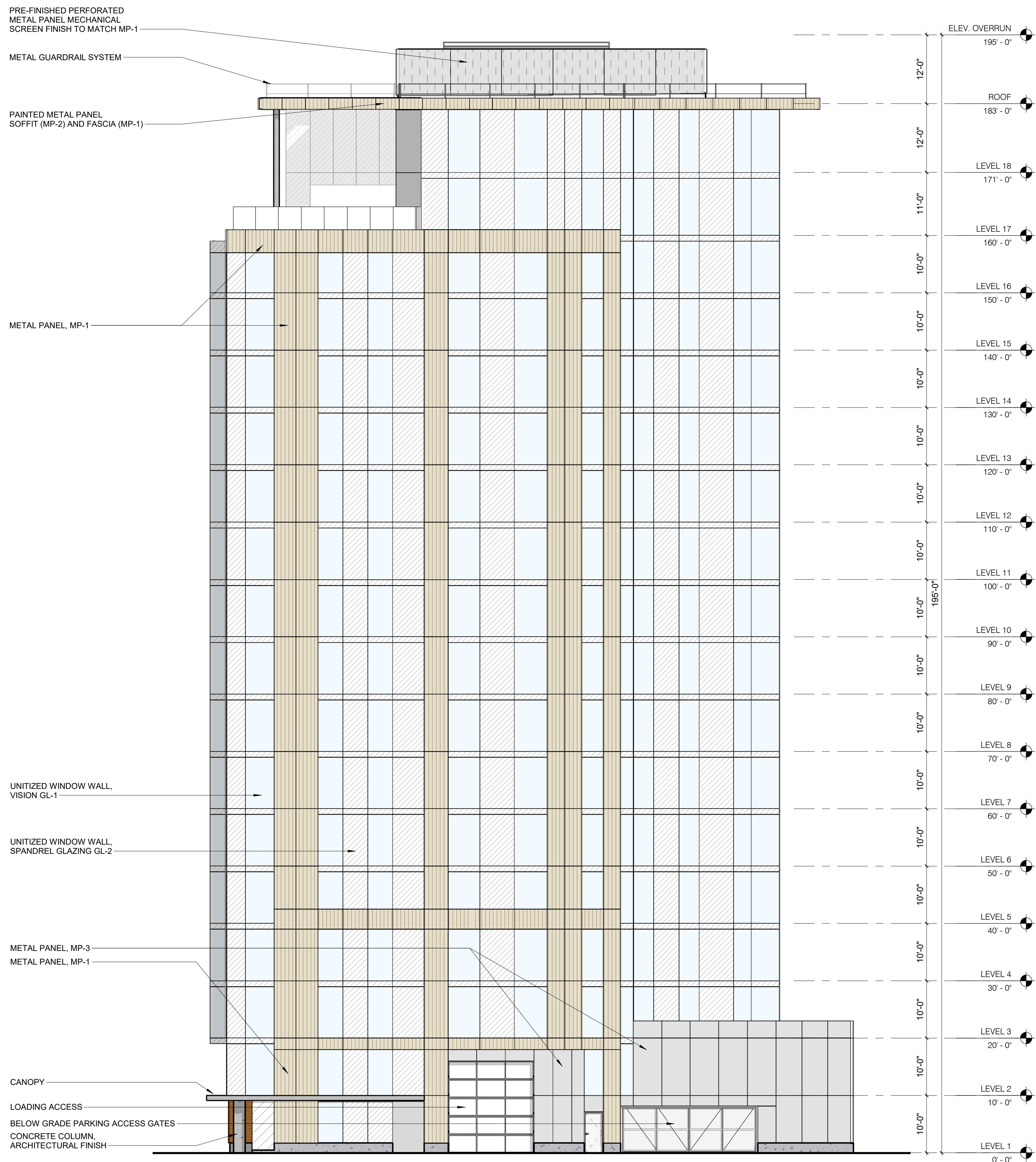
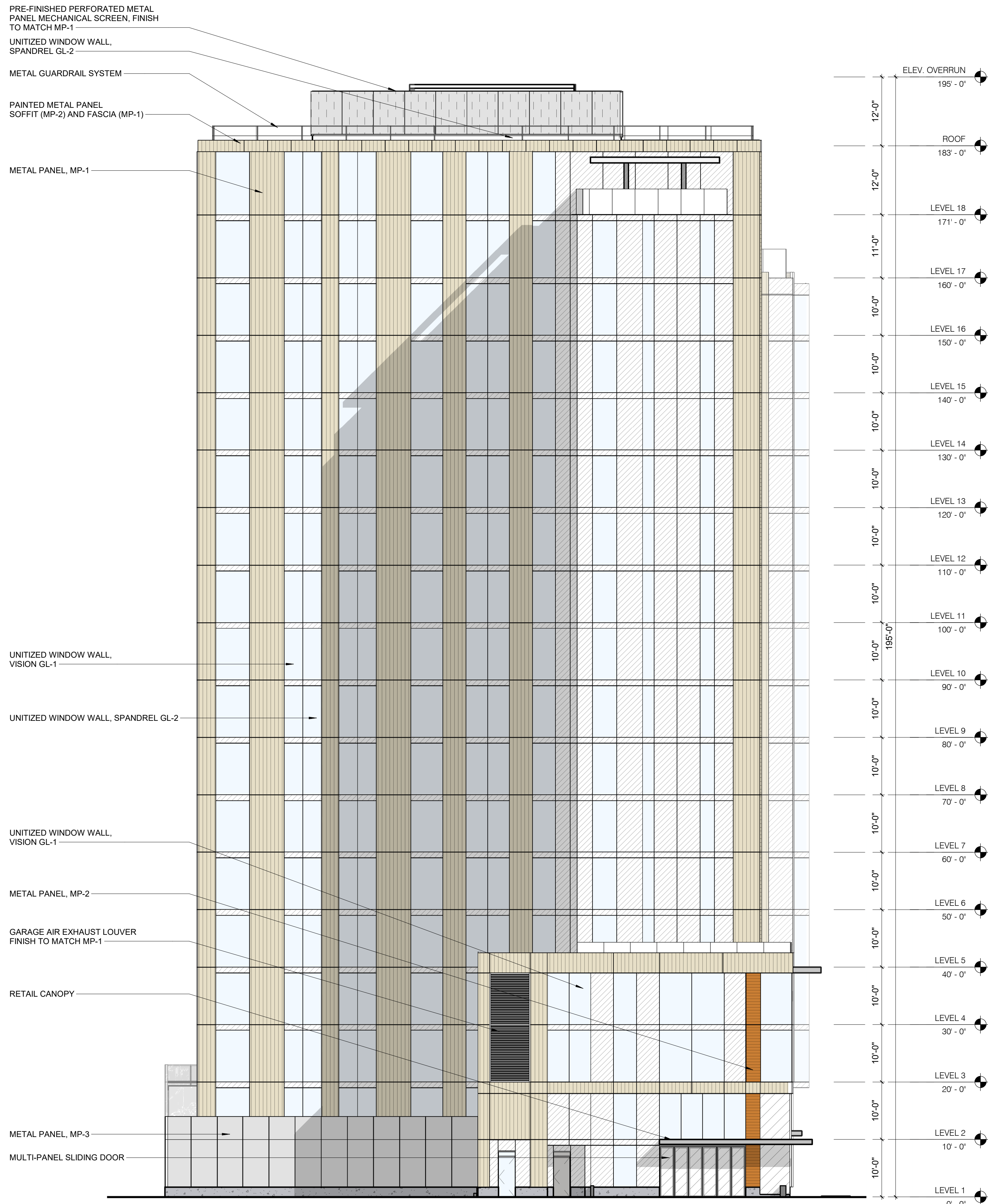
**A301**

**SPECIAL USE PERMIT AMENDMENT**



MATERIAL LEGEND

	CURTAIN WALL VISION GLASS, GL-1		METAL PANEL, MP-1		PERFORATED METAL PANEL, MP-1
	CURTAIN WALL SPANDREL GLASS, GL-2		METAL PANEL, MP-2		METAL PANEL, MP-3
	RETAIL STOREFRONT GLASS, GL-3				EXPOSED CONCRETE ARCHITECTURAL FINISH



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SHEET TITLE:  
**EXTERIOR ELEVATIONS - EAST & WEST**

SHEET NO.:

**A302**





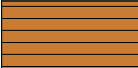
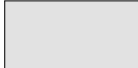

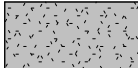
**SPECIAL USE PERMIT AMENDMENT**

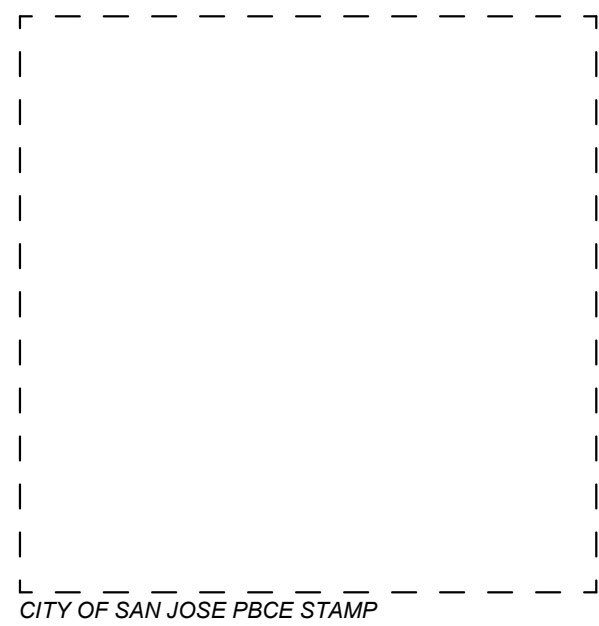
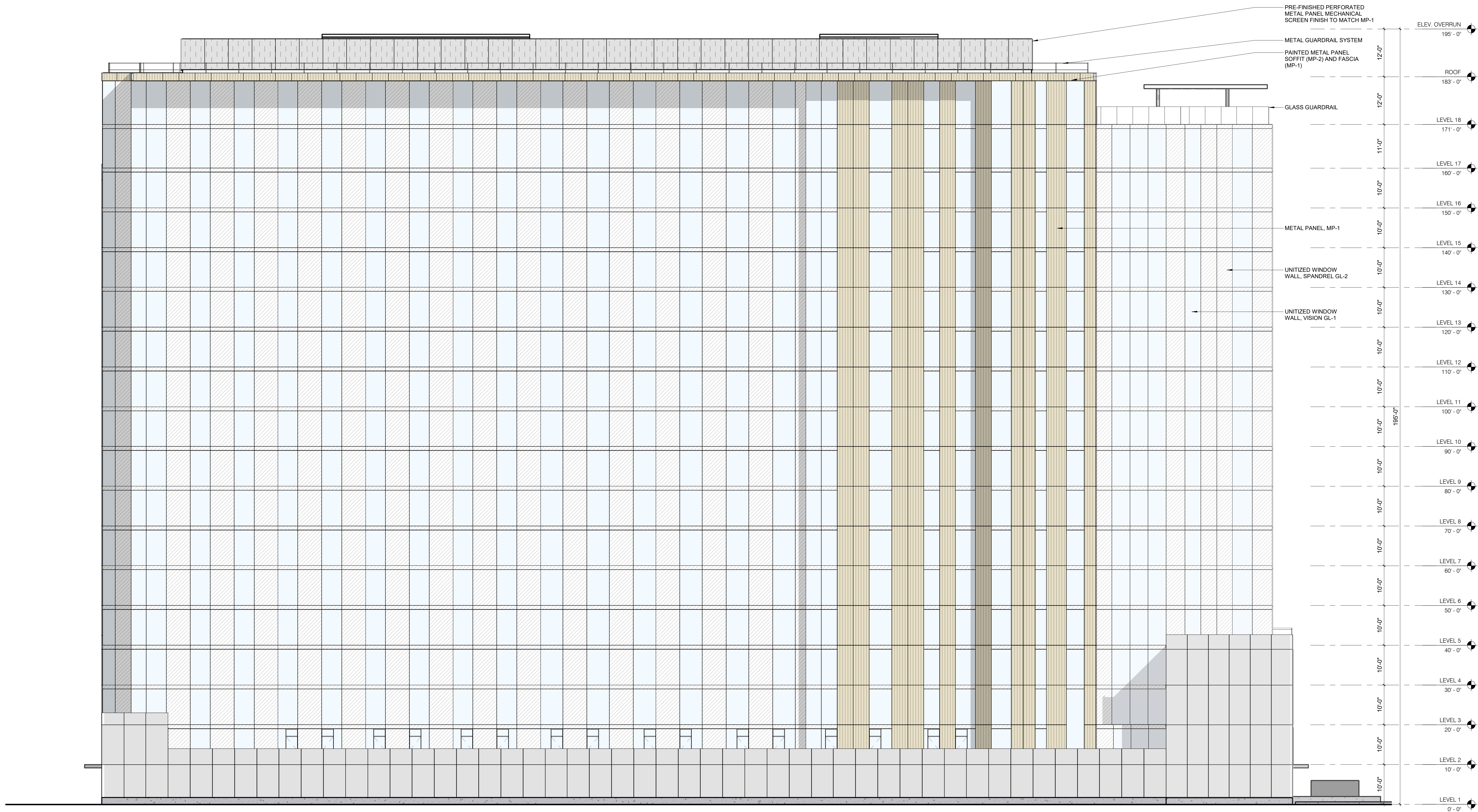
1 ELEVATION-WEST-TERRAINE ST  
A302 3/32" = 1'-0"

2 ELEVATION-EAST-SAN PEDRO ST  
A302 3/32" = 1'-0"



MATERIAL LEGEND

	CURTAIN WALL VISION GLASS, GL-1		METAL PANEL, MP-1		PERFORATED METAL PANEL, MP-1
	CURTAIN WALL SPANDREL GLASS, GL-2		METAL PANEL, MP-2		METAL PANEL, MP-3
	RETAIL STOREFRONT GLASS, GL-3				EXPOSED CONCRETE ARCHITECTURAL FINISH



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SHEET TITLE:  
**EXTERIOR ELEVATION - NORTH**

SHEET NO.:  
**A303**

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